



CITY COUNCIL MEETING
CITY HALL COUNCIL CHAMBERS
229 MAIN STREET, CONWAY, SC 29526
MONDAY, APRIL 18, 2022 - 4:00 PM

PLEASE SILENCE ALL ELECTRONIC DEVICES

I. CALL TO ORDER

II. INVOCATION/PLEDGE OF ALLEGIANCE – Debra Dixon, Chaplin - Conway Police Department

III. APPROVAL OF AGENDA

IV. CONSENT AGENDA

- A. Final Reading of Ordinance #ZA2022-04-18(A) to annex approximately 35.89 acres of property located on Lite Rd (PIN 324-00-00-0007 & 324-00-00-0006) and request to rezone from Horry County Commercial Forest Agriculture (CFA) to City of Conway Low Density Residential (R-1).
- B. Final Reading of Ordinance #ZA2022-04-18(B) to rezone three (3) parcels (PINs 368-02-02-0031/0032/0033) totaling 0.39 acres located at 813 and 815 Wright Blvd, and between Wright Blvd/Hwy 378 and Carpet Alley, from Neighborhood Commercial (NC) and Mixed Use (MU) to Low Density Residential (R-1).
- C. Approval of April 4, 2022 City Council Minutes

V. PUBLIC INPUT

VI. SPECIAL PRESENTATION

- A. Recognition of Conway Fire Department for receiving “Fire Safe South Carolina” Community Designation
- B. Discussion of an Amendment to the City of Conway Municipal Code to create the Hotel Incentive Program, which provides economic incentives to develop hotels, motels, inns, and commercial short-term rentals in the City of Conway. (Hyman)
- C. Request to rezone approximately 2.22 acres of property located at 1601 Third Ave (PIN 368-03-03-0017, 368-06-02-0001 & 368-04-04-0053) from High-Density Residential District (R-3) to City of Conway Highway Commercial (HC). (Hardin)
- D. Request to rezone approximately 4.83 acres of property located at 1500 Fourth Ave (PIN 368-04-04-0028 & 368-03-02-0102) from City of Conway Core Commercial (CC) to City of Conway Highway Commercial (HC). (Hardin)

- E. Request to rezone approximately 0.94 acres of property located at 1503 Fourth Ave (PIN 368-04-04-0064) from City of Conway Core Commercial (CC) to City of Conway Highway Commercial (HC). (Hardin)
- F. Discussion to amend Article 6 – Design Standards, Article 7 – Streets and Circulation, Article 9 – Landscaping and Buffer Requirements, and Article 10 – Subdivision and Land Development, regarding development and design standards for single-family and multifamily developments. (Hardin)

VII. CITY ADMINISTRATOR’S REPORT

VIII. COUNCIL INPUT

IX. ADJOURNMENT

Any citizen of the municipality may make an appearance before City Council concerning any municipal matter with the exception of personnel matters. Persons desiring to speak must notify the City Clerk prior to the beginning of the meeting. However, if you are speaking regarding a public hearing item, then you would do so during that time on the agenda. Please address Council from the podium stating your name, address, and the subject you would like to discuss.

The public may also access the meeting at www.cityofconway.com under the “Latest News” tab at the bottom of the home page. If you are unable to attend and would like to voice your concerns or comments regarding a request, please call City Hall at 843-248-1760 or email ashelley@cityofconway.com, to be received prior to 12:00 noon on April 18, 2022. To assure proper recording of public comments left on the City’s voicemail, callers are urged to clearly pronounce their names and addresses, preferably providing spelling for both.

DATE: APRIL 18, 2022
ITEM: IV.A.

ISSUE:

Final Reading of Ordinance #ZA2022-04-18(A) to annex approximately 35.89 acres of property located on Lite Rd (PIN 324-00-00-0007 & 324-00-00-0006) and request to rezone from Horry County Commercial Forest Agriculture (CFA) to City of Conway Low-Density Residential (R1).

BACKGROUND:

In February 2022, applicant Jamie McLain petitioned to annex approximately 35.89 acres located between Hwy 65 and Hwy 813 and rezone the property R1 (Low Density Residential). *Note: the application contained a typographical error that indicated the zone request was R3 (High Density Residential). The attached email clarifies the error, and staff's report reflects the intended request of R1 zoning.*

The intent of the R-1 District is to provide for the preservation and expansion of areas for low to medium density, detached single-family residential development in the City of Conway. The district shall present a relatively spacious character, promote quiet, livable neighborhoods, and prohibit uses that are incompatible with the residential nature of the surrounding area.

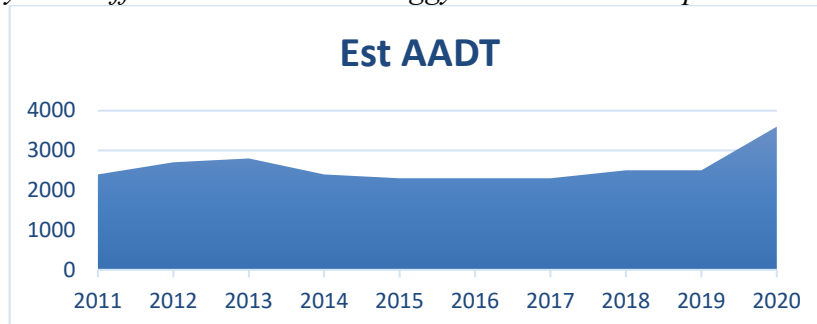
CITY OF CONWAY COMPREHENSIVE PLAN:

The *Comprehensive Plan* identifies this parcel as **Rural Residential** on the Future Land Use Map.

The *Comprehensive Plan* states that the **Rural Residential** category is applied to areas which remain rural in nature with large parcels and are nearer to the outer boundaries of the Service Area. These areas, if developed, are typically half acre lots or larger.

RELATIONSHIP TO CITY POLICIES, PROJECTS, AND PUBLIC HEALTH/SAFETY

- *Flood Zone:* X
- *Public Utilities:* City of Conway Water access available via Hwy 65, Hwy 813, and Lite Rd. Sewer service in this area is provided via Grand Strand Water/Sewer Authority.
- *Access to Public Roads:* Properties abut state roads Hwy 65 and Hwy 813, and Horry County's Lite Rd.
 - *Hwy 65 Traffic Counts between Boggy Rd and 701 over previous 10 years:*



- *Closest Fire Station:* 704 Country Club Dr, 2.5 miles away from Lite Rd.
- *Closest Police Station:* 1600 Ninth Ave, 4.7 miles away from Lite Rd.

DISCUSSION:

1. The *Comprehensive Plan* identifies the property as Rural Residential, which has a typical density of two units per acre. R-1 zoning has an average of five units per acre, based on minimum lot size (7,500 sq ft, or 0.17 acre).
2. In a one-mile radius of the properties proposed for R-1 zoning, the properties in Conway city limits are also predominantly R-1:

Zone	Conway Zoning Title	Average Units/Acre	Number of Properties in 1 mile	Acres
RA	Residential Agricultural	0.5	1	4.88
RR	Rural Residential	2	5	4.83
R	Residential	4	1	1.04
R1	Low/Medium Density Residential	5	224	1,276.11
R2	Medium Density Residential	7	1	84.49

In the same one-mile radius, the Horry County residential zones are more varied:

Zone	Horry County Zoning Title	Average Units/Acre	Number of Properties in 1 mile	Acres
MHP	Mobile Home Park	varies	1	37.36
MSF 6	Single Family Residential	7	99	31.71
MSF 10	Single Family Residential	4	32	29.89
MSF 20	Single Family Residential	2	81	128.48
SF 10	Single Family Residential	4	4	26.02
SF 14.5	Single Family Residential	3	1	0.54
SF 20	Single Family Residential	2	1	0.45
SF 40	Single Family Residential	1	45	116.83

3. There is another previously-approved single-family development at the end of Hwy 813, in the Collins-Jolly area, conceptually planned for 1,300 units over 800 acres. A traffic study of the Collins-Jollie proposal concluded that the traffic levels of Hwy 813 would remain adequate with the additional dwelling units, and the Lite Rd development does not significantly change that.

RECOMMENDATION:

Staff: Recommends approval of annexation and R-1 zoning.

Planning Commission: Recommends approval of the same (6-0).

ORDINANCE # ZA2022-04-18(A)

AN ORDINANCE TO ANNEX APPROXIMATELY 35.89 ACRES OF PROPERTY LOCATED ON LITE RD (PINS 324-00-00-0007 & 324-00-00-0006) AND REQUEST TO REZONE FROM HORRY COUNTY COMMERCIAL FOREST AGRICULTURE (CFA) TO CITY OF CONWAY LOW/MEDIUM DENSITY RESIDENTIAL DISTRICT (R-1).

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CONWAY:

SECTION 1. FINDINGS:

A petition has been submitted to the City Council of the City of Conway to annex approximately 35.89 acres of property described herein and represented on a map. The City Council of the City of Conway has determined that the annexation of this area into the City of Conway will be to the advantage of the municipality.

The area proposed for annexation is adjacent to the present City limits. The petition for annexation of land and declared zoning is hereby accepted by the governing body of the municipality of Conway, and made a part of the City of Conway, South Carolina, to wit:

ALL AND SINGULAR, those certain parcels, lots, or tracts of land in Conway Township, County and State aforesaid, containing approximately 35.89 acres of property located along Lite Rd (PINS 324-00-00- 0007 & 324-00-00-0006) and request to rezone from Horry County Commercial Forest Agriculture (CFA) to City of Conway Low/Medium Density Residential District (R-1).

This annexation includes all waterways, roads, and rights-of-way adjacent to the property. For a more specific description of said property, please see attached map.

SECTION 2. APPLICATION OF ZONING ORDINANCE:

The property is admitted as City of Conway Low/Medium Density Residential District (R-1) area under the zoning laws of the municipality.

SECTION 3. EFFECTIVE DATE:

The annexation is effective as of the date of the final reading of this Ordinance.

AND BE IT FURTHER ORDAINED that such changes shall be made on the Official Zoning Map. All ordinances or parts of ordinances inconsistent with this Ordinance are hereby repealed to the extent of such inconsistency.

RATIFIED BY CITY COUNCIL, duly assembled, this 18 day of April, 2022.

Barbara Jo Blain-Bellamy, Mayor

B. Alex Hyman, Mayor Pro Tem

Amanda Butler, Council Member

William M. Goldfinch IV, Council Member

Beth Helms, Council Member

Justin D. Jordan, Council Member

Larry A. White, Council Member

ATTEST: Alicia Shelley, City Clerk

First Reading: April 4, 2022

Final Reading: April 18, 2022

OVERVIEW MAP



Disclaimer: This map is a graphic representation only. It is NOT a survey. All efforts have been made to ensure its accuracy. However, the City of Conway disclaims all responsibility and liability for the use of this map.

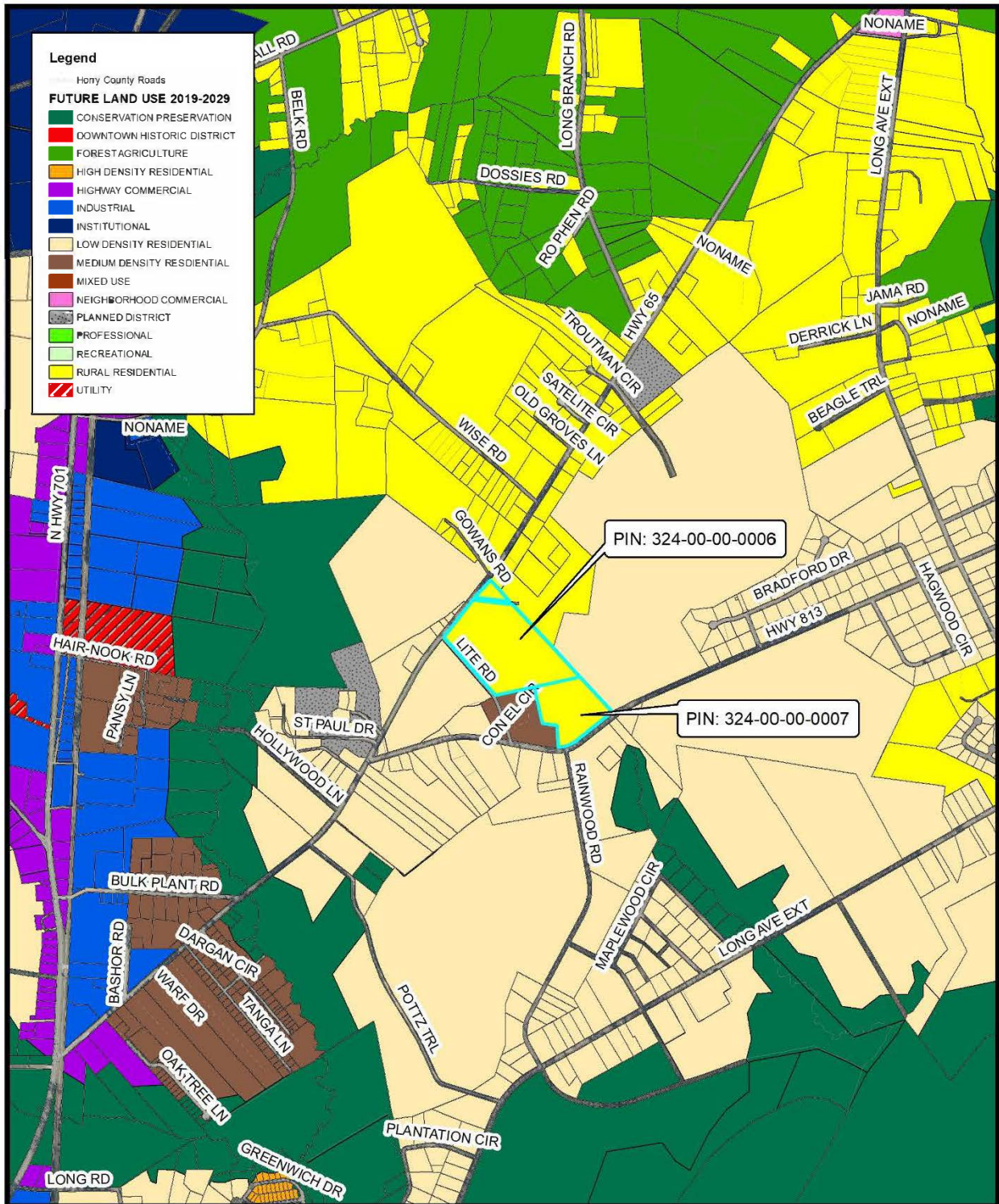


PROPOSED ANNEXATION AND R-1 ZONING
PIN 324-00-00-0006 and 324-00-00-0007
HWY 813 AND HWY 65



Date: 2/24/2022 Time: 9:17:45 PM Path: \\ccc-6014310\ANNEXATION\REZONING\2022\POLO CLUB INVESTMENTS LLC\GIS\Polo Club Investments - Zoomed Out.mxd

FUTURE LAND USE MAP



Disclaimer: This map is a graphic representation only. It is NOT a survey. All efforts have been made to ensure its accuracy. However, the City of Conway disclaims any responsibility or liability for the use of this map.



1 inch = 1,500 feet

PROPOSED ANNEXATION AND R-1 ZONING
PIN 324-00-00-0006 and 324-00-00-0007
HWY 813 AND HWY 65



Date: 2/24/2022 Time: 10:50:11 PM Path: \\csc-6014310\ANNEXATION\ANNEXATION REZONINGS\2022\POLY\LO CLUB INVESTMENTS LLC\GIS\Pole Club Investments - Future Land Use.mxd

FLOOD ZONE MAP



Disclaimer: This map is a graphic representation only. It is NOT a survey. All efforts have been made to ensure its accuracy. However, the City of Conway disclaims all responsibility and liability for the use of this map.




PROPOSED ANNEXATION AND R-1 ZONING
PIN 324-00-00-0006 and 324-00-00-0007
HWY 813 AND HWY 65




Date: 2/24/2022 Time: 9:45:57 PM Path: \\csc-6014310\ANNEXATIONS\ANNEXATION REZONINGS\2022\POLO CLUB INVESTMENTS LLC\GIS\Polo Club Investments - Flood.mxd






City of
CONWAY
GIS

Disclaimer: This map is a graphic representation only. It is NOT a survey. All efforts have been made to ensure its accuracy. However, the City of Conway disclaims all responsibility and liability for the use of this map.



1 inch = 1,000 feet

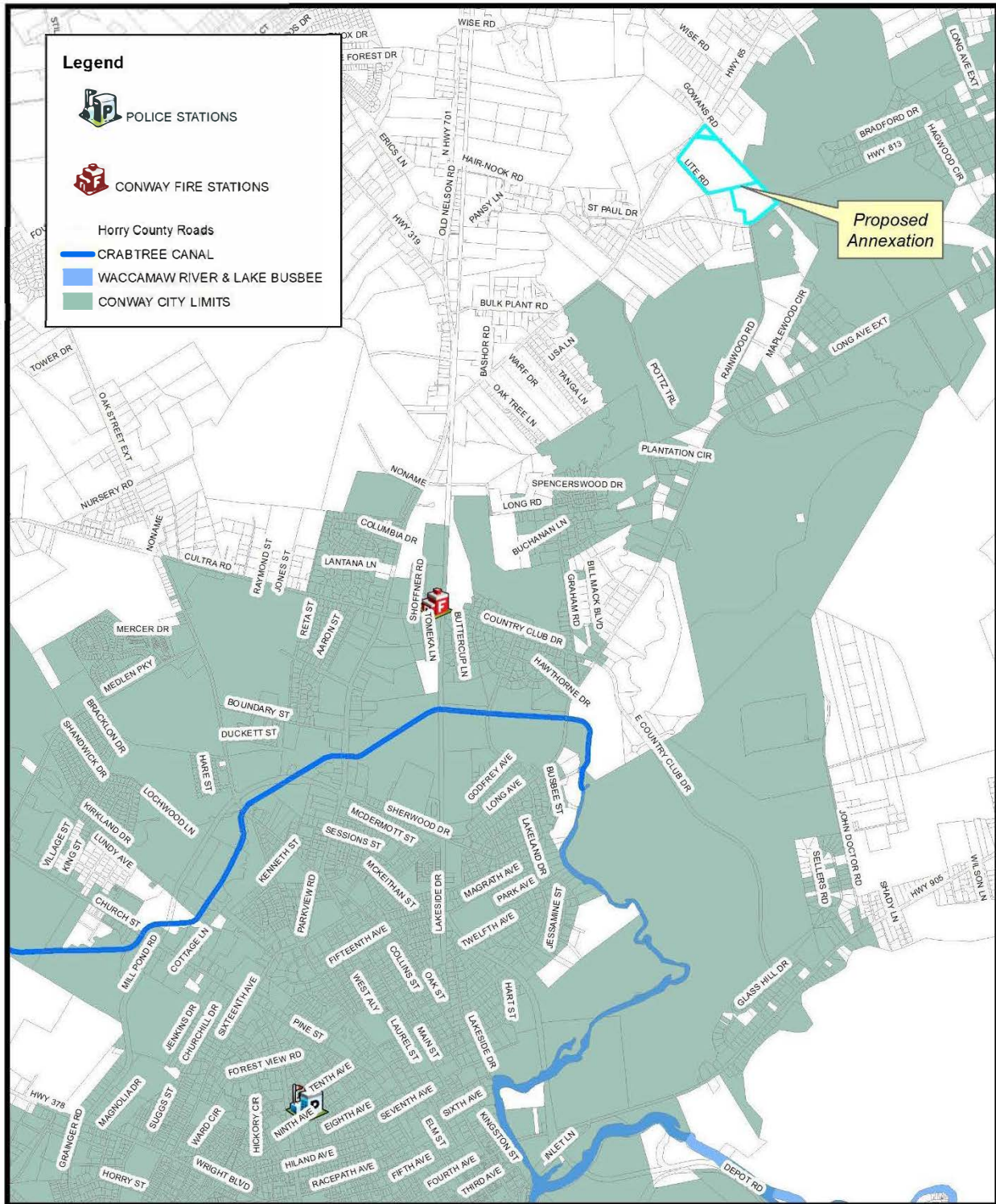
PROPOSED ANNEXATION AND R-1 ZONING
PIN 324-00-00-0006 and 324-00-00-0007
HWY 813 AND HWY 65



City of
CONWAY
SOUTH CAROLINA

Date: 2/24/2022 Time: 9:56:55 PM Path: \\c:\cc-4601\4310\ANNEXATION\ANNEXATION REZONING\2022\POLO CLUB INVESTMENTS LLC\GIS\Polo Club Investments - Water.mxd

PROXIMITY TO PUBLIC SAFETY



Disclaimer: This map is a graphic representation only. It is NOT a survey. All efforts have been made to ensure its accuracy. However, the City of Conway disclaims all responsibility and liability for the use of this map. 1 inch = 2,543 feet

PROPOSED ANNEXATION AND R-1 ZONING
PIN 324-00-00-0006 and 324-00-00-0007
HWY 813 AND HWY 65



Date: 2/25/2022 Time: 3:09:52 AM Path: \\csc-f01u310\ANNEXATIONS\ANNEXATION REZONING\2022\POL CLUB INVESTMENTS LLC\GIS\Palo Club Investments - Public Safety.mxd

Alicia Shelley

From: David Born <dborn99@yahoo.com>
Sent: Friday, April 1, 2022 6:16 PM
To: Alicia Shelley
Subject: Rezoning of Land off Hwy 813 Requested by Polo Club Investment - 35 Acres

CAUTION-External Email: This email originated from outside of the City of Conway. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Clerk - City of Conway SC; Sent - April 1, 2022

WE ARE OPPOSED TO THE REZONING OF LAND NEXT TO HWY 813 for residential purposes.

We are volunteers of the Adopt-A-Highway program since 2017. The proposed development will mean a higher numbers of vehicles and more trash on Hwy 813. Road trash is already a problem in this section of Hwy 813. In addition a lot of wildlife (deer, opossum, etc.) use this property for their habitat. I know this because I see them while picking up trash or driving the road.

We moved here from Connecticut in 2016 we have noticed an increase in the number and size of housing developments in the area. We like our country road and want to keep it that way.

Thank you for your attention. Any questions you can call me (Julia) at 843-516-5332.

David and Julia Born
4091 Hwy 813
Conway, SC 29526



PETITION FOR ANNEXATION

Staff Use Only

Received: _____
BS&A #: _____

City of Conway Planning Department
206 Laurel Street, 29526

Phone: (843) 488-9888
Conway, South Carolina

FAX: (843) 488-9890
www.cityofconway.com

Instructions:

- Fill out all 3 pages
- Submit signed forms to City of Conway Planning Department
- Provide digital copy of deed and survey/plat with these forms

STATE OF SOUTH CAROLINA)
COUNTY OF HORRY)

PETITION FOR ANNEXATION

TO THE HONORABLE MAYOR AND CITY COUNCIL OF CONWAY

WHEREAS, § 5-3-150 (3) of the Code of Laws of South Carolina provides for the annexation of an area or property which is contiguous to a City by filing with the municipal governing body a petition signed by all persons owning real estate in the area requesting annexation; and

WHEREAS, the undersigned are all persons owning real estate in the area requesting annexation; and

WHEREAS, the area requesting annexation is described as follows, to wit:

NOW, THEREFORE, the undersigned petition the City Council of Conway to annex the below described area into the municipal limits of the City of Conway.

PROPERTY LOCATION/SUBDIVISION: Lite Road, Conway - Rose Estates
PIN: 32400000007 & 32400000006 ACREAGE: 35.89
PROPERTY ADDRESS: Lite Road, Conway, SC
PROPERTY OWNER MAILING ADDRESS: PO BOX 2444 CONWAY, SC 29528
PROPERTY OWNER TELEPHONE NUMBER: 8433683832
PROPERTY OWNER EMAIL: mclainenv@hotmail.com
APPLICANT: Jamie McLain
APPLICANT'S EMAIL: mclainenv@hotmail.com

IS THE APPLICANT THE PROPERTY OWNER? CIRCLE: YES ☒ NO ☐

IF NOT: PLEASE INCLUDE A LETTER OF AGENCY OR POWER OF ATTORNEY FROM THE OWNER ADDING RESPONSIBILITY TO THE APPLICANT.

PROPERTY OWNERS (Attach additional sheets if necessary)

Jamie McLain
(Print)

(Signature)

DATE: 2/10/2022

(Print)

(Signature)

DATE: _____



PETITION FOR ANNEXATION

Staff Use Only

Received: _____
BS&A #: _____

Is there a structure on the lot: No Structure Type: N/A

Current Use: Vacant

Are there any wetlands on the property?

CIRCLE: YES ☒ NO ☐

If yes, please include valid wetland delineation letter from army corps of engineers.

Is the property restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the permitted or proposed use of the land?

CIRCLE: YES ☐ NO ☒

If yes, please explain and provide a copy of covenant and/or restriction.

Is the city a party to any deed restrictions or easements existing on the property?

CIRCLE: YES ☐ NO ☒

If yes, please describe.

Are there any building permits in progress or pending for this property?

CIRCLE: YES ☐ NO ☒

If yes, please provide permit number and jurisdiction.

FEES ARE DUE AT SUBMITTAL.

RI ZONING DISTRICT – NO FEE ALL OTHER ZONING DISTRICTS - \$ 250

PLEASE SUBMIT TO THE PLANNING DIRECTOR AT THE CITY OF CONWAY.

ahardin@cityofconway.com



Zoning Map Amendment Application

Incomplete applications will not be accepted.

Staff Use Only

Received: _____
BS&A #: _____

City of Conway Planning Department
206 Laurel Street, 29526

Phone: (843) 488-9888
Conway, South Carolina

FAX: (843) 488-9890
www.cityofconway.com

Notice

All zoning map amendments shall follow the procedures set forth in Section 13.1.7 of the City of Conway Unified Development Ordinance. Amendments to the Official Zoning Map shall be initiated by members of City Council, the Planning Commission, the Planning Director, or owner(s) of the subject property. In order to partially defray the administrative cost of zoning map amendments, the applicant shall pay a filing fee to the City of Conway in the amount of \$250.00 at the time this application is submitted. Planned Development rezonings are \$2,500.00 and Planned Development Amendments are \$500.00, and due at the time of submission. R-1 rezoning requests will not be charged a fee. A plat of the property to be rezoned may be required with this application.

PHYSICAL ADDRESS OF PROPERTY: Lite Road, Conway, SC FEE PAID ☒ YES ☐ NO

AREA OF SUBJECT PROPERTY (ACREAGE): 35.89 PIN: 32400000007 & 32400000006

CURRENT ZONING CLASSIFICATION: CFA (Horry County)

COMPREHENSIVE PLAN 2035 FUTURE LAND USE: Rural Residential

REQUESTED ZONING CLASSIFICATION: R1

NAME OF PROPERTY OWNER(S):

Polo Club Investments LLC (Jamie McClain) PHONE # 8433653832

PHONE # _____

MAILING ADDRESS OF PROPERTY OWNER(S):

PO BOX 2444 CONWAY , SC 29528

I (we) the owner(s) do hereby certify that all information presented in this Zoning Map Amendment Application is correct.

PROPERTY OWNER'S SIGNATURE(S)

DATE

PROPERTY OWNER'S SIGNATURE(S)

DATE

THE APPLICANT OR A REPRESENTATIVE MUST BE PRESENT AT THE MEETING.

From: [Jamie McLain](#)
To: [Allison Hardin](#); [Steve Powell](#); ["Jordan Rodes"](#)
Subject: Re: Annexation/rezoning application for Rose Estates, Lite Rd, Conway
Date: Saturday, February 26, 2022 12:55:59 PM

CAUTION-External Email: This email originated from outside of the City of Conway. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Allison

That is a typo. It should have been R1.

Get [Outlook for iOS](#)

From: Allison Hardin <ahardin@cityofconway.com>
Sent: Friday, February 25, 2022 3:13:31 PM
To: mclainenv@hotmail.com <mclainenv@hotmail.com>; Steve Powell <spowell@sccoast.net>; 'Jordan Rodes' <jordanrodes@sccoast.net>
Subject: Annexation/rezoning application for Rose Estates, Lite Rd, Conway

Hi all ...

Before I send out the Planning Commission packet, I wanted to verify that the zoning request was accurate.

The paperwork asked for R3 (High Density) zoning in an area surrounded by low density zoning.

If R3 is the correct zone, staff's report will go forward with a recommendation to deny, based on the density conflict with the surrounding area. If it's a typo, let me know and I'll be happy to amend the report.

My apologies for the delay but it's been a very crazy week-before-budget-retreat here.

Thanks,

Allison

Allison Hardin, CFM
Director of Planning and Development
City of Conway | 196 Laurel St, Conway, SC 29526
Central Line: 843.488.9888 | Direct Line: 843.488.7857

RELOCATION NOTE: Our office location moved on February 11, 2022.
Please update your files accordingly.

ISSUE:

Final Reading of Ordinance #ZA2022-04-18-(B), an ordinance to rezone three (3) parcels (PINs 368-02-02-0031/0032/0033) totaling 0.39 acres located at 813 and 815 Wright Blvd, and between Wright Blvd/Hwy 378 and Carpet Alley, from NC (Neighborhood Commercial) and MU (Mixed Use) to R1 (Low/Medium-Density Residential) in order to construct a garage for the home at 815 Wright Ave. Property owner is Willa DeWitt; applicant on her behalf is the resident of 813 Wright Blvd, Cornelia Tenny.

BACKGROUND:

Before we get into the details, we should clarify the location and purpose of the three properties involved in the rezoning request:

1. The property at 813 Wright Blvd (PIN 368-02-02-0032) is where Ms. Tenny's house is located, and is noted from this point as the *"house site."*
2. The property at 815 Wright Blvd (PIN 368-02-02-0033) is currently vacant, and separates Ms. Tenny's house from a business (Kwik Services Heating & Cooling, at 817 Wright Blvd). This property is noted from this point as the *"vacant frontage."*
3. The property behind Ms. Tenny's house site is a separate parcel (PIN 368-02-03-0031) and does not have access to Wright Blvd. The access point would be to Carpet Alley, an informal dirt road that falls behind about a half a dozen properties along Wright Blvd. This property is noted from this point as the *"proposed garage site."*
4. All three properties are owned by Willa J DeWitt and her trust.

In the fall of 2021, Ms. Tenny applied to construct a garage (considered an accessory structure) behind her home. While reviewing the request, staff noted several issues:

- Ms. Tenny's house site at 813 Wright Blvd did not have enough space to successfully site any type of accessory structures, due to the small size of the lot (approximately 0.11 acres, or 4,783 square feet) and the size of the house (approximately 2,200 square feet in footprint) and required setbacks.
- Ms. Tenny's plans had the garage placed on the proposed garage site, which met all setback requirements but brought up another issue: accessory structures have to be located on the same property as the primary structures they are serving.
 - The proposed garage site was a separate tract of land with a separate PIN number.
- Ms. Tenny's house appears to take up most of the frontage on Wright Blvd, meaning access to the proposed garage site would be from Carpet Alley. Carpet Alley, however, is not an official right-of-way. In order to provide guaranteed access to the proposed garage site, the option to access the proposed garage site from an existing curb cut on Wright Alley via the vacant frontage became part of the discussion.

Staff determined that combining the three properties would remove the issue of an accessory structure on a separate lot and access, and moved forward to assist the applicant in this process.

Further review of the project showed the applicant faced more zoning challenges:

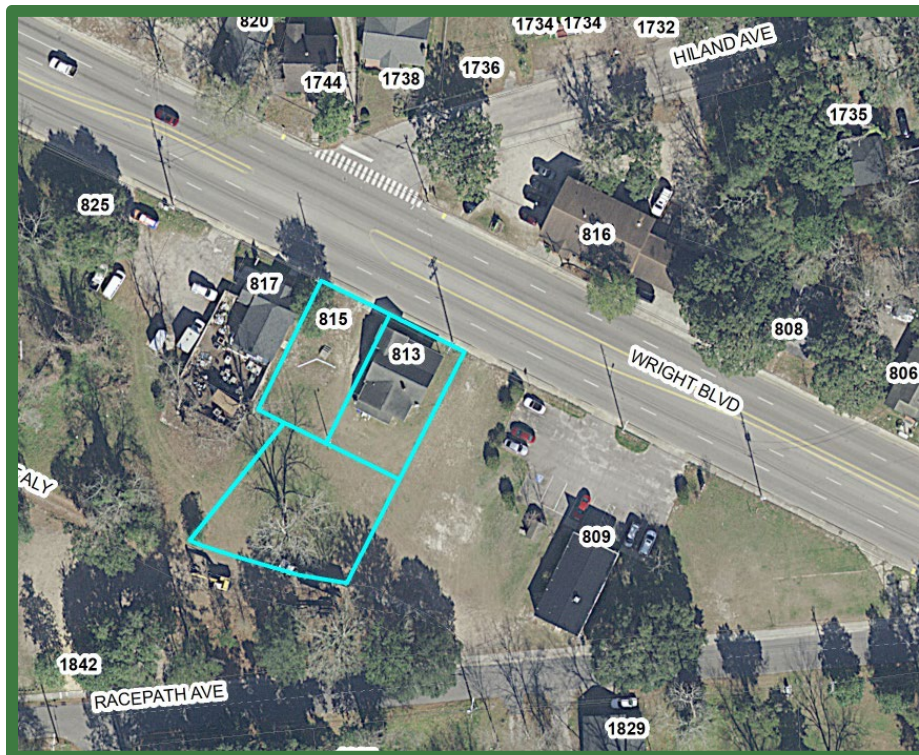
- The house site and vacant frontage site are zoned NC (Neighborhood Commercial) and the proposed garage site is zoned MU (Mixed Use). Simply combining the lots would result in a split-zoned property and run afoul of City of Conway policies that direct staff to avoid split zoning.
 - Staff determined that the easiest solution was to rezone the proposed garage property to match the house site and vacant frontage, which was zoned NC.

In researching the potential issues of combining the lots under NC, staff found yet another challenge:

- Single family residential homes are not allowed in the NC zone. Ms. Tenny's home was therefore a non-conforming use, and non-conforming uses are not allowed to expand. Building a garage as an accessory structure to a residence would be expansion of a non-conforming use and is not allowed by code.

With this revelation, staff began looking at the rest of the area and determined that many houses were zoned NC in the neighborhood, and we started to look for a solution that would handle other similar issues. We evaluated allowing single family residential uses in the NC zone, and determined that would unnecessarily open up large tracts of land to residential development where commercial development was called for. We evaluated overlay zones, but overlay zones are not intended to amend the list of uses in a zone – they're intended for more strict regulations or to recognize regional importance under unified design standards.

At this point, staff had to concede that the issue was one without a good answer, and reverted to looking for solutions to allow Ms. Tenny to construct her garage. The closest and easiest answer was to have Ms. Tenny request to extend the R-1 zoning adjacent to the proposed garage site over all involved sites. We advised Ms. Tenny of this and have received an application for this solution.



CITY OF CONWAY COMPREHENSIVE PLAN:

The *Comprehensive Plan* identifies these parcels as Neighborhood Commercial and Mixed Use in the Future Land Use plan.

RELATIONSHIP TO CITY POLICIES, PROJECTS, AND PUBLIC HEALTH/SAFETY

- Overlay Zones: GCO (Gateway Corridor Overlay)
- Flood Zone: X (NOT part of the Special Flood Hazard Area)
- Formal Public Street Access: Hwy 378/Wright Blvd for the vacant frontage and house site.
- Informal Public Street Access: via Carpet Alley to Racepath Ave.

RECOMMENDATION:

Staff: Staff supports the future land use planning designation in the *Comprehensive Plan*.

Planning Commission: At their March 3, 2022 meeting, the Planning Commission unanimously recommended approval of the petition as stated.

ATTACHMENTS:

Ordinance

Maps

Use Table showing the difference in uses between R1 and NC zones

ORDINANCE #ZA2022-04-18(B)

AN ORDINANCE TO REZONE THREE (3) PARCELS TALLING APPROXIMATELY 0.39 ACRES OF PROPERTY LOCATED AT 813 & 815 WRIGHT BLVD, AND BETWEEN WRIGHT BLVD/278 AND CARPET ALLEY (PINS 368-02-02-0031/0032/0033), FROM CITY OF CONWAY NEIGHBORHOOD COMMERCIAL (NC) AND MIXED USE (MU) TO CITY OF CONWAY SINGLE FAMILY RESIDENTIAL (R-1).

WHEREAS, pursuant to Title 6, Chapter 29 of the Code of Laws of South Carolina, the City of Conway enacted the Zoning Ordinance of the City of Conway, South Carolina; and

WHEREAS, Article 13, Section 13.1.7 of the *City of Conway Unified Zoning Ordinance (UDO)* provides that the regulations, restrictions, and boundaries set forth in the *UDO* may be amended, supplemented, changed, or repealed in accordance with S.C. Code §6-29-760; and

WHEREAS, a petition has been submitted to rezone approximately 0.39 acres of property located at and behind 813 & 815 Wright Blvd (PINs 368-02-02-0031/0032/0033) from City of Conway Neighborhood Commercial) and City of Conway Mixed Use (MU) to City of Conway Single Family Residential (R-1); and

WHEREAS, the Planning Commission of the City of Conway, on March 3, 2022, recommended that the subject property be rezoned to City of Conway Low-Density Residential District (R1) from City of Conway Neighborhood Commercial (NC) and Mixed Use (MU); and

WHEREAS, following the required public hearing, City Council determined that it is in the best interest of the health, safety, and general welfare of the City of Conway and its citizens to approve the subject rezoning petition as presented: Therefore, be it

ORDAINED, by Conway City Council, in Council duly assembled, that the zoning boundaries of the Official Zoning Map of the City of Conway, together with all explanatory matter herein, be revised as follows:

for the property located at 813 and 815 Wright Blvd (PINs 368-02-02-0031 and 368-02-02-0032) from City of Conway Neighborhood Commercial (NC), and one lot behind them (PIN 368-02-02-0033) from City of Conway Mixed Use (MU) to City of Conway Low Density Single Family Residential); and be it further

ORDAINED, that all ordinances or parts of ordinances inconsistent with this Ordinance are hereby repealed to the extent of such inconsistency.

EFFECTIVE DATE: This ordinance shall become effective upon final reading.

RATIFIED BY CITY COUNCIL, duly assembled, this 18 day of
April, 2022.

Barbara Jo Blain-Bellamy, Mayor

B. Alex Hyman, Mayor Pro Tem

Amanda Butler, Council Member

William M. Goldfinch IV, Council Member

Beth Helms, Council Member

Justin D. Jordan, Council Member

Larry A. White, Council Member

ATTEST: Alicia Shelley, City Clerk

First Reading: April 4, 2022

Final Reading: April 18, 2022

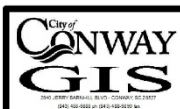
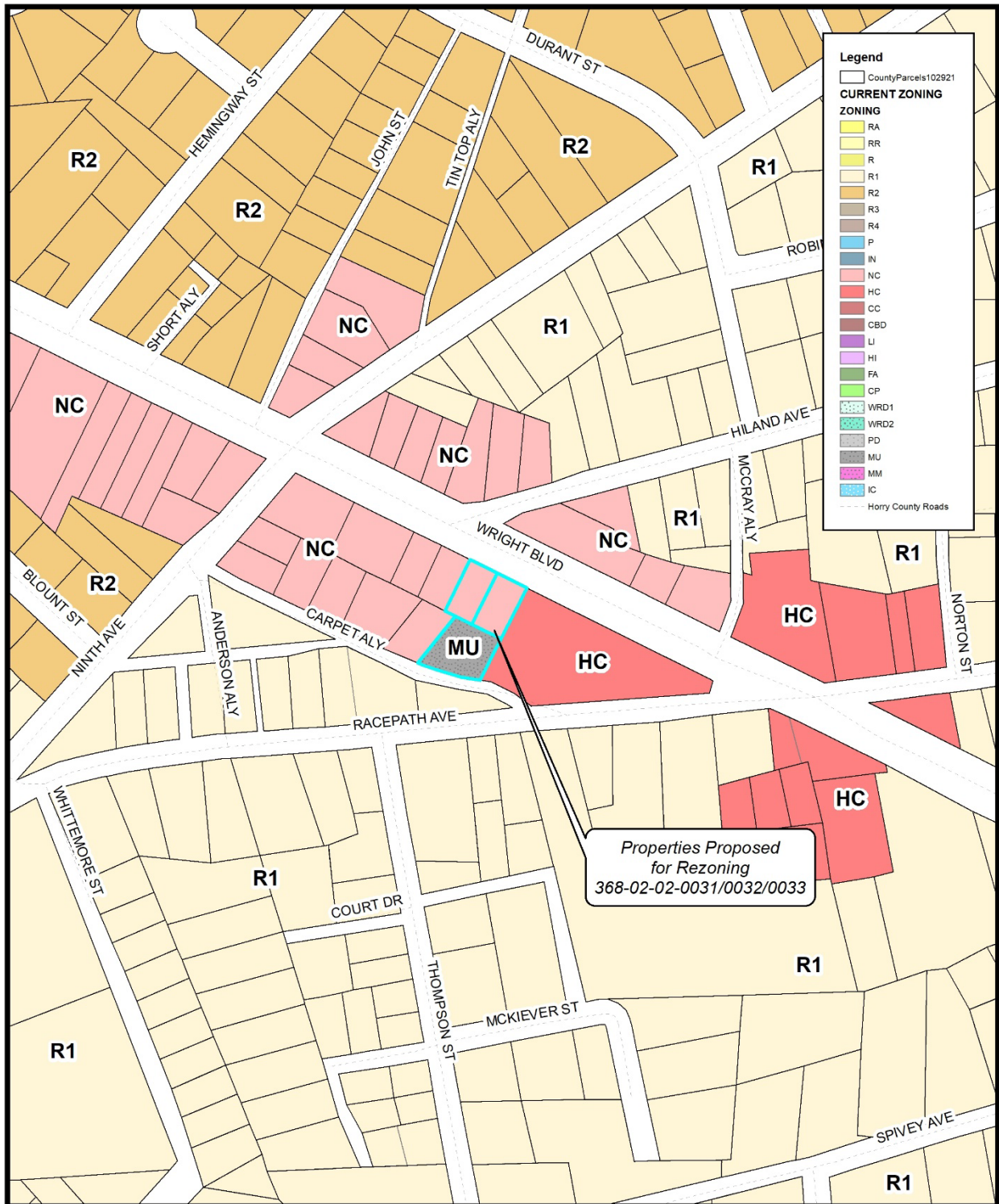


Disclaimer: This map is a graphic representation only. It is NOT a survey. All efforts have been made to ensure its accuracy. However, the City of Conway disclaims all responsibility & liability for the use of this map.



GLORIA J DEWITT / CORNELIA TENNY
PROPOSED REZONING FOR 813 & 815 WRIGHT BLVD
PINS: 368-02-02-0031/368-0-02-0032/368-02-02-0033





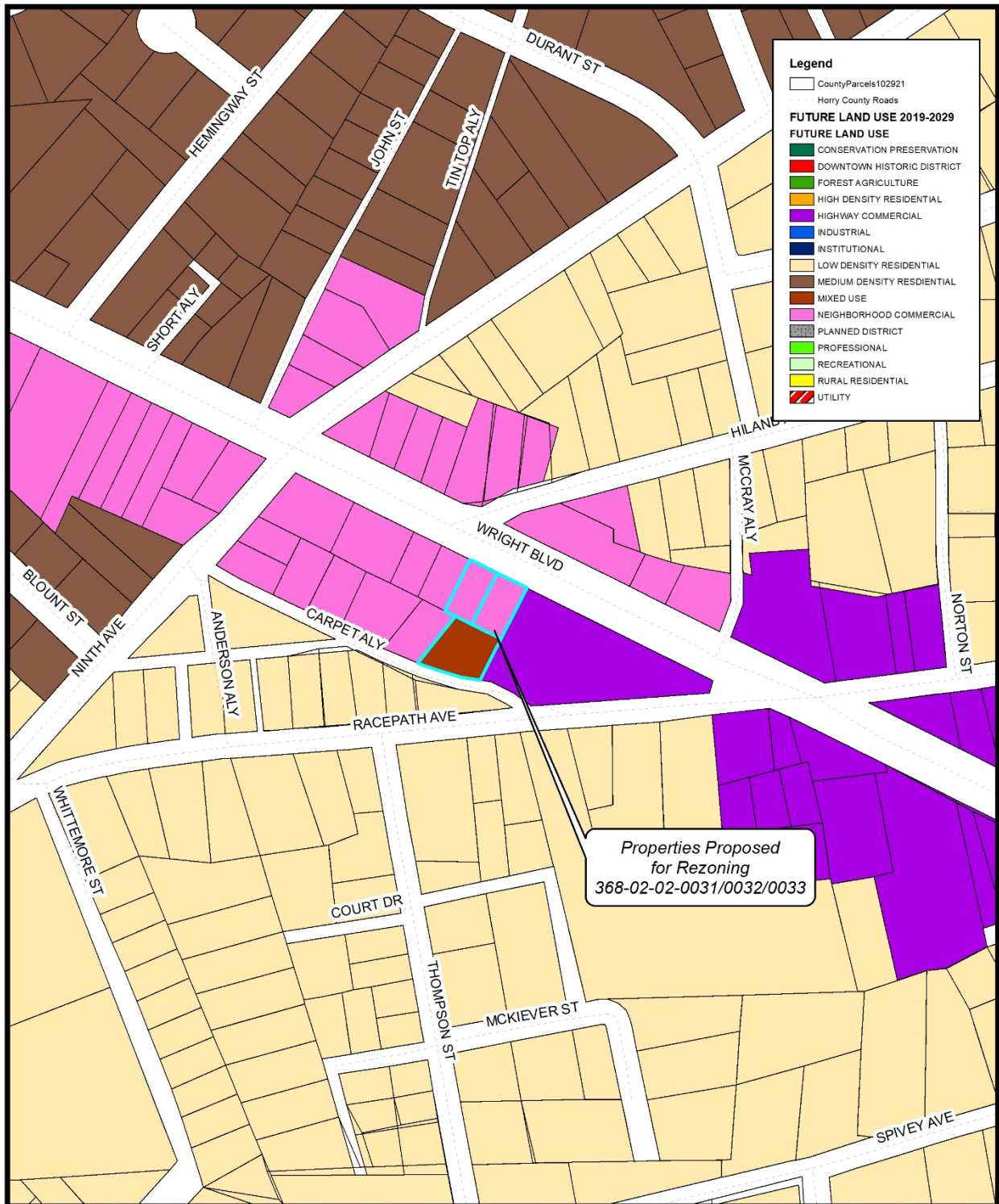
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PROPOSED REZONING FOR 813 & 815 WRIGHT BLVD
PINS: 368-02-02-0031/368-0-02-0032/368-02-02-0033



Date: 2/28/2022 Time: 10:28:28 AM Path: \\coco-fs014310\REZONINGS\2022\TENNEY - CARPET ALLEY\GIS\DeWitt-Tenny_CurrentZoning.mxd



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GLORIA J DEWITT / CORNELIA TENNY
PROPOSED REZONING FOR 813 & 815 WRIGHT BLVD
PINS: 368-02-02-0031/368-0-02-0032/368-02-02-0033



Date: 2/28/2022 Time: 10:22:00 AM Path: \\coco-fs014310\REZONINGS\2022\TENNEY - CARPET ALLEY\GIS\DeWitt-Tenney_FLU.mxd

City of Conway Planning Department
206 Laurel Street, 29526

Phone: (843) 488-9888
Conway, South Carolina

FAX: (843) 488-9890
www.cityofconway.com

Notice

All zoning map amendments shall follow the procedures set forth in *Section 13.1.7* of the *City of Conway Unified Development Ordinance*. Amendments to the Official Zoning Map shall be initiated by members of City Council, the Planning Commission, the Planning Director, or owner(s) of the subject property. In order to partially defray the administrative cost of zoning map amendments, the applicant shall pay a filing fee to the City of Conway in the amount of \$250.00 at the time this application is submitted. Planned Development rezonings are \$2,500.00 and Planned Development Amendments are \$500.00, and due at the time of submission. R-1 rezoning requests will not be charged a fee. A plat of the property to be rezoned may be required with this application.

PHYSICAL ADDRESS OF PROPERTY: _____ FEE PAID () YES () NO

AREA OF SUBJECT PROPERTY (ACREAGE): _____ PIN: _____

CURRENT ZONING CLASSIFICATION: _____

COMPREHENSIVE PLAN 2035 FUTURE LAND USE _____

REQUESTED ZONING CLASSIFICATION: _____

NAME OF PROPERTY OWNER(S):

_____ PHONE # _____

_____ PHONE # _____

MAILING ADDRESS OF PROPERTY OWNER(S):

I (we) the owner(s) do hereby certify that all information presented in this *Zoning Map Amendment Application* is correct and there are no covenants or deed restrictions in place that would prohibit this request.

PROPERTY OWNER'S SIGNATURE(S)

DATE

PROPERTY OWNER'S SIGNATURE(S)

DATE

THE APPLICANT OR A REPRESENTATIVE MUST BE PRESENT AT THE MEETING.

CITY OF CONWAY
CITY COUNCIL MEETING
CONWAY CITY HALL
229 MAIN STREET, CONWAY
MONDAY, APRIL 4, 2022 - 4:00 P.M.

PRESENT: Mayor Barbara Blain-Bellamy, Alex Hyman, Mayor Pro Tem
Council Members: Amanda Butler, William Goldfinch, Beth Helms, Justin Jordan, Larry White

STAFF: Adam Emrick, City Administrator; John Rogers, Deputy Administrator; Mary Catherine Hyman, Deputy Administrator; Jeff Leveille, Technology Services Director; June Wood, Public Information Officer; Le Hendrick, Fire Chief; Allison Hardin, Planning & Development Director; Dale Long, Police Chief; Wayne Calhoun, Police; Timmy Williams, Grounds & Maintenance; James Friday, Public Utilities Director; Allison Williams, Finance Director; Kayla Fleming, Associate Judge; Ashley Smith, Recreation Director; Reggie Jenerette, Solid Waste Director; Braxton Fleming, Public Works Superintendent; Bess Harry, Building Assistant; and Alicia Shelley, City Clerk

OTHERS: Hillary Howard of Conway Downtown Alive, and approximately 7 others in attendance.

CALL TO ORDER: Mayor Blain-Bellamy called the meeting to order. Josh Finklea of The Rock Church gave the invocation and led the Pledge of Allegiance.

The requirements for posting notice of this meeting under South Carolina's Freedom of Information Act (FOIA) were met.

APPROVAL OF AGENDA: **Motion:** Blain-Bellamy made a motion, seconded by Goldfinch, to approve the April 4, 2022 meeting agenda with the deletion of item VI.A. Presentation of Longevity Awards. **Vote:** Unanimous. Motion carried.

CONSENT AGENDA:

- A. Final Reading of Ordinance #ZA2022-04-04(B) to annex approximately 18.6 acres of property located at 3525 West Hwy 501 (PIN 326-00-00-0025) and request to rezone from Horry County Commercial Forestry Agriculture (CFA) to City of Conway Highway Commercial (HC).**
- B. Final Reading of Ordinance #ZA2022-04-04(C) to annex approximately 6.1 acres of property located at 2827 Long Ave Ext (PIN 324-15-01-0005) and request to rezone from Horry County Residential (SF40) to City of Conway Low/Medium Density Residential District (R-1).**
- C. Adoption of Resolution Recognizing April as National Fair Housing Month**
- D. Approval of March 21, 2022 City Council Minutes**

APPROVAL OF CONSENT AGENDA: **Motion:** Hyman made a motion, seconded by Butler to approve the April 4, 2022 consent agenda. **Vote:** Unanimous. Motion carried.

PUBLIC INPUT:

Hillary Howard thanked Council for supporting a successful Waccamaw Sportsmen's Expo and also thanked the Timmy Williams, Bryson Gillig and the Grounds Maintenance Department for all their help.

There was no further public input. **Motion:** Goldfinch made a motion, seconded by Hyman, to close public input. **Vote:** Unanimous. Motion carried.

SPECIAL PRESENTATION:

Proclamation Announcing Donate Life Month – Mayor Blain-Bellamy read the Proclamation announcing that April 2022 is Donate Life Month.

PUBLIC HEARING AND FIRST READING

- A. Public Hearing and First Reading of Ordinance #ZA2022-04-18(A) to annex approximately 35.89 acres of property located on Lite Rd (PIN 324-00-00-0007 & 324-00-00-0006) and request to rezone from Horry County Commercial Forest Agriculture (CFA) to City of Conway Low Density Residential (R-1).** Hardin informed Council that this annexation request is for R1 zoning and showed the properties on the map. The property is proposed to be subdivided into a single-family development in the future. The Comprehensive Plan identifies this parcel as Rural Residential, which has a typical density of two units per acre. R1 zoning has an average of five units per acre, based on minimum lot size of 7,500 sq. ft. In a one-mile radius of the properties proposed for R1 zoning, the properties in Conway city limits are also predominantly R1. Planning Commission and staff both recommend approval of the annexation and R1 zoning.

Blain-Bellamy stated that Council did receive a letter of opposition from volunteers of the Adopt-A-Highway program citing that a development would produce a higher number of vehicles, more trash and that wildlife use this property for their habitat.

There was no public input. **Motion:** Hyman made a motion, seconded by Goldfinch, to close public input. **Vote:** Unanimous. Motion carried.

Motion: Hyman made a motion, seconded by Jordan to approve first reading of this request. **Vote:** Unanimous. Motion carried.

- B. Public Hearing and First Reading of Ordinance #ZA2022-04-18(B) to rezone three (3) parcels (PINs 368-02-02-0031/0032/0033) totaling 0.39 acres located at 813 and 815 Wright Blvd, and between Wright Blvd/Hwy 378 and Carpet Alley, from Neighborhood Commercial (NC) and Mixed Use (MU) to Low Density Residential (R-1).** Hardin informed Council that the 3 properties are owned by Willa DeWitt and the

applicant, Cornelia Tenny is the resident of the home at 813 Wright Blvd, whom wishes to construct a garage. This parcel does not have enough space to construct a garage. The property at 815 Wright Blvd. is vacant and the property behind the house is also a separate parcel that does not have access to Wright Blvd. Accessory structures have to be located on the same site as the primary structure. Staff determined that combining the three properties would remove the issue of an accessory structure on a separate lot and access. Single family residential homes are not allowed in the NC zone; therefore, the home is a non-conforming use, and non-conforming uses are not allowed to expand. Staff then informed the applicant that the closest and easiest answer as a solution to allow the garage, was to rezone all parcels R1. Staff supports the future land use planning designation as NC and MU in the Comprehensive Plan. Planning Commission unanimously recommended approval of this request.

There was no public input. **Motion:** White made a motion, seconded by Hyman, to close public input. **Vote:** Unanimous. Motion carried.

Motion: Blain-Bellamy made a motion, seconded by White to approve first reading of this request.

Goldfinch stated that a house is not a permitted use in NC but this is zoned NC, so this predates zoning. Hardin said yes.

Goldfinch then asked if all 3 could come in as one lot as NC. Hardin said she would not be able to construct a garage as you cannot have an accessory use to a primary use that doesn't exist.

Goldfinch then asked about giving a variance. He asked that if Council approved the R1 request, would that prohibit others rezoning to NC. Hardin said just those 3 lots.

Goldfinch said that he doesn't have a problem with the project being done, he just has concerns about future NC rezonings not being allowed, due to this being R1.

Emrick said that it could restrict because of R1 being between NC and HC and that he has concerns of driveways being allowed for residential on Highway 378.

Hyman had the same concerns noting that this is the direct opposite of what we normally approve and that if a house wasn't already there, we would be saying no.

Blain-Bellamy asked if future Council would be precluded from changing to a different zone. Hardin said no.

Vote: Unanimous. Motion carried.

FIRST READING

First Reading of Ordinance #ZA2022-04-18(C) to annex approximately 1 acre of property located on Ole Alston Ave (PIN 369-10-02-0036) and request to rezone from Horry County Residential (SF40) to City of Conway Low/Medium Density Residential District (R-1).

Hardin informed Council that this annexation is being made in order to construct a single-family residential structure on the lot. Ole Alston Avenue is an unpaved road that currently serves six parcels of property and two residential units. City codes do not allow development along dirt roads, but the owner could potentially receive a building permit from the County and still receive water from the City.

Hyman stated that the cost of paving the road may exceed the cost of building the house.

Motion: Hyman made a motion, seconded by Goldfinch to deny this request. **Vote:** Unanimous. Motion carried.

Blain-Bellamy asked if the Restrictive Covenants follows the land. Emrick said yes, and when asked to come into the city they will at that time.

CONSIDERATION

Consideration to Accept Proposal for Engineering and Surveying Services for Collins Park Additions and/or for City of Conway Sports & Fitness Center Tennis Courts. MC Hyman said that at the March 2022 Budget Retreat, City Council directed staff to move forward with upgrades to Collins Park that include: site grading, moving the basketball court, adding 2 asphalt tennis courts, adding 2 pickleball courts, fencing, walkways, and additional parking on 17th Avenue. After the March 2022 Budget Retreat, a member of City Council directed staff to research adding two clay tennis courts (which also includes grading, stormwater relocation, court irrigation, fences, and walkways) to the Sports & Fitness Center grounds. ROWE Professional Services had previously been procured by the City to perform engineering and surveying design services for a tennis center and tennis courts. The proposals from ROWE include the following: (1) Upgrades to Collins Park: \$29,000 and covers a topographic/tree survey, site construction plans, construction staking, and construction administration. Adequate funds for these services are allocated in the budget. (2) 2 clay tennis courts at the Sports & Fitness Center: \$17,500 and covers a topographic/tree survey, site construction plans, construction staking, and construction administration. Adequate funds for these services are allocated in the budget.

Motion: Hyman made a motion, seconded by Jordan to accept the proposal from ROWE and proceed with the upgrades at Collins Park as presented. **Vote:** Unanimous. Motion carried.

Motion: Hyman made a motion, seconded by Goldfinch to accept the proposal from ROWE and place 3 clay tennis courts at the Sports & Fitness Center to the area already graded that is not being used over by the girls' softball field. **Vote:** Unanimous. Motion carried.

CITY ADMINISTRATOR'S REPORT:

Emrick informed Council of the following:

- Still no permit from DHEC for the Smith Jones Pool. We have had some comments and requests from DHEC which our engineers have responded to. Once the permit is in hand we can go to construction bids.
- Our Grounds Maintenance Department has removed the garbage cans from Boundary Street due to damage to the cans. There are houses that will be constructed here soon, so prior to replacing these cans, we will let the construction go through and then evaluate what, if anything to put back in place.
- We also had to remove the garbage cans that were placed on Ernest Finney due to raccoons and other animals getting into them and spreading the garbage worse than the litter that existed before. Again, we will look at better methods prior to replacing these.
- We hope to begin construction of a new Gateway Sign in front of Conway High School soon. We have worked with both Horry County Schools and SCDOT on the placement of this sign. It will look similar but not identical to the sign at Collins Park.
- There will be another public input workshop for the Pathways and Trails Plan on April 19 at 5:30 p.m. in the Building and Development Building at 2nd and Laurel.
- The Great American Cleanup will be on May 14 at 8 a.m. We will meet and begin from the Billy Gardner Sports Complex.
- MASC is hosting a legislative update with Tom Rice at the Myrtle Beach Train Depot on April 11 at 11:30 a.m. If any of you are interested in attending, please let us know so we can get you registered.
- We are looking at several options now for the replacement of the City Banners as discussed at the Retreat. You should see the purchase of these come through soon.
- Just an FYI, this Friday is Conway High School's Prom, which means downtown will hopping from 3:30 p.m. until 6 p.m. with photographers.
- This Friday is also the City of Conway night at Coastal Carolina Baseball.

COUNCIL INPUT:

Helms thanked Emrick, Hyman and Smith for their help with the 3 clay tennis courts, as that will enable to be used for USTA. Helms stated that she had a great time at the Waccamaw Sportsmen's Expo and can see it getting even bigger next year. She said that it actually proved that having a liquor license for an event and people didn't go crazy, as that was talked about at budget retreat. Enjoyed the recreation center activities and the kids seem to enjoy themselves. She also thanked staff for their help this week on issues that she called about.

Hyman congratulated the Carolina Gamecock women's basketball team. He thanked Howard and her staff for the Waccamaw Sportsmen's Expo. He said that it was great with a big crowd and he can see it getting better each year. The Spring Sports Jamboree was great and the grounds crew did a wonderful job. He said that its exciting and he is proud to live here.

Goldfinch said that on a serious note, he has always tried to do right by Council and his community but that when he kicked the soccer ball on Saturday, he said that was the worse kick he has had in his entire life. He said he was ashamed and as a true Gamecock would say, there is always next year and he would work on it.

Goldfinch said that at budget retreat it was talked about how we can increase revenue to the city, particularly as it relates to our growing area and as we expand our footprint. This costs money as you have to add new sanitation crew, etc. and who pays for that. He said that Council talked about ways to offset those capital expenditures on the front end. He then asked staff when those could be implemented. Emrick said July 1 with the new budget year.

Goldfinch then said that there has been a lot of talk about festivals, in particular the Waccamaw Sportsmen's Expo and he also had a great time. He then said that there is talk about bringing people to Conway and we should but what he has started focusing on is the quality of life events that the city is having for our citizens. He said that event along with the Gullah Geechee festival and Saturday's event at the Recreation Center were all quality of life events. These are so impactful and he is proud of everyone and what they have done.

Jordan also said that the last 2 weekends in the City have been wonderful and the only issue he had was that his girls thought they needed every dog that was at the Expo.

Butler cosigned to everything that everyone has said and that last Saturday at the Jamboree was wonderful and gave a shout out to Smith and his crew. She said that other events are coming up that are amazing such as the egg hunt. She said that the Waccamaw Expo was another great event and first time going to something of that nature and she thanked all for that opportunity. She then said that the Conway High School spring sports are doing wonderful things, with lots of wins under their belts and encourages everyone to continue to support them. She then said to keep the students in your thoughts and prayers as they do have prom this Friday.

Blain-Bellamy said that one of her mantras when it comes to her personal life is a philosophy that she heard, "When is the last time that you did something for the first time?" She said that she rarely has to come up with something on her own as those things are brought to her from the hands of the staff, CDA or one of our appendages, and she has had some extravagant, new, wonderful activities in her life. She thanked all for making those experiences in Conway and that we are all better for those. She then said that she missed both the Waccamaw Sportsmen's Expo and the Gullah Geechee Festival but heard enough about them and that yet she would have been exposed to yet again new experiences that make life wonderful. She then agreed with Goldfinch in that these experiences do add to the quality of life and that is what Conway is all about. Thanks to everyone for making living here better.

EXECUTIVE SESSION: Motion: Hyman made a motion, seconded by White to enter into Executive Session for the following: A. Consideration of Appointments to Boards, Commissions and Committees [pursuant to SC Code §30-4-70(A)(1)]; B. Discussion of Potential Acquisition of Property near Crabtree Swamp and along the Waccamaw River [pursuant to SC Code §30-4-70(A)(2)]. **Vote:** Unanimous. Motion carried.

RECONVENE FROM EXECUTIVE SESSION: **Motion:** White made a motion, seconded by Goldfinch to leave Executive Session. **Vote:** Unanimous. Motion carried.

POSSIBLE ACTION ON MATTERS DISCUSSED IN EXECUTIVE SESSION: **Motion:** Blain Bellamy made a motion, seconded by Jordan to approve the following board appointments as discussed in Executive Session. **Vote:** Unanimous. Motion carried.

Construction Board – Michael Green was reappointed for a 3-year term expiring on 12/31/2024.

Housing Authority – Sandra Gowans was reappointed to fill a 5-year term expiring 4/24/2027.

Election Commission – Kyle Randle was reappointed to fill a 6-year term expiring on 4/26/2028.

Lakeside Cemetery – Sims Gasque was reappointed to fill a 3-year term expiring on 12/31/2024.

Motion: Hyman made a motion, seconded by Helms to authorize the Administrator to negotiate the potential acquisition of properties near Crabtree Swamp and along the Waccamaw River. **Vote:** Unanimous. Motion carried.

ADJOURNMENT: **Motion:** Jordan made a motion, seconded by Helms, to adjourn the meeting. **Vote:** Unanimous. Motion carried.

APPROVAL OF MINUTES: Minutes approved by City Council this 18 day of April, 2022.

Alicia Shelley, City Clerk

DATE: APRIL 18, 2022
ITEM: VI.A.

ISSUE:

Conway Fire receives “Fire Safe South Carolina “Community Designation.

BACKGROUND:

The Fire Department was recently recognized as a “Fire Safe South Carolina” Community for their active participation in developing community risk reduction plans for the community. Fire Safe South Carolina was launched in 2017 by South Carolina State Fire through a partnership with the South Carolina State Firefighters’ Association, the South Carolina State Association of Fire Chiefs, and the South Carolina Fire Marshal Association. The City of Conway is one of 104 departments from 36 counties recognized as the 2021 recipients of this designation. These designated communities continually work to reduce fire-related injuries in our state, thereby decreasing the risks for residents and firefighters. They also promote consistent fire safety messaging and stress the importance of providing all relative data collected at fire scenes.

To earn the “Fire Safe South Carolina” designation, fire departments completed courses to improve data quality, trained community partners to deliver in-home safety visits, and further developed their skills through online National Fire Academy courses in risk reduction and assessment.

In 2021, 366 new community partners were identified statewide, more than 1,000 fire service members were educated on risk reduction-related topics, and nearly 500,000 citizens were educated on fire and life safety topics by local fire departments.

This designation would not be possible without the hard work and dedication by Fire Marshal Jeremy Carter, Sergeant Jarrett Wallace, Engineer David Haines, and Firefighter Leigha Howell and assistance from two community partners, the Waccamaw Sertoma Club and Mister Sparky.

The department will receive a yard sign during a ceremony at the South Carolina State Firefighters’ Conference in June at the Myrtle Beach Convention Center.

RECOMMENDATION:

Recognize the Fire Department for this designation.

ISSUE:

Discussion of the creation of Ordinance #_____ *Article J, Chapter 5 – Hotel Incentive*, of the City of Conway Municipal Code to create the Hotel Incentive Program, which provides economic incentives to develop hotels, inns, and commercial short-term rentals in the City of Conway.

BACKGROUND:

City Council has expressed the need to attract more hotels in Conway, and more specifically, in the downtown in the Central Business District (CBD) and Core Commercial (CC) zoning districts. These developments would increase local employment, expand the tax base, and create new wealth opportunities in the community.

In recent years, the City has approved amendments concerning hotels. Parking requirements for hotels, and inns were removed in the Central Business District, as the City will be providing a majority of the parking infrastructure. Additionally, an amendment was approved to allow short-term rentals downtown.

There are several incentives that are already available that *could* apply to the development of hotels downtown:

- **Preservation Tax Incentive Program:** A special property tax assessment for rehabilitated historic property for 15 years equal to the fair market value of the property at the time of preliminary certification.
- **An Incentive Program to Reimburse Certain Fees in Connection with Occupancy in Existing Vacant Buildings Located in the Central Business District:** This incentive applies to any new business in a previously vacant (more than 3 months) building in the central business district. This includes reimbursement for: building permit fees, and business license fees for 2 years.
- **Redevelopment Enhancement Incentive:** This incentive applies to any new business or expanding or existing business in the Central Business District (CBD), Core Commercial (CC) or commercial property fronting Highway 378 (Wright Boulevard) or Highway 701 (Main Street/4th Avenue). This includes reimbursement for 100% of capital recovery fees.

Therefore, a hotel development in downtown could currently request reimbursement for capital recovery fees (Redevelopment Enhancement Incentive). A renovation could receive reimbursement for property taxes (Preservation Tax Incentive Program), and a renovation in CBD could request reimbursement for building permit fees + business license fees (Vacant buildings in CBD Incentive).

To attract quality hotels throughout the City of Conway, a new **Hotel Incentive** program could include:

- Reimbursement of property taxes
- Reimbursement of hospitality taxes
- Expedited review period of 15 days instead of 30 days

To attract hotels downtown, this new incentive could be stacked with existing incentives to additionally provide reimbursement of capital recovery fees, building permit fees, and business license fees

RECOMMENDATION:

Review the Hotel Incentive and provide feedback to staff.

ARTICLE J - Hotel Incentive

Sec. 1-5-121 - Applicability.

This incentive applies to any person, firm or corporation establishing a hotel, inn, or commercial short-term rentals with a minimum of 8 units in the City of Conway. All eligibility is subject to review and approval by city council.

Sec. 1-5-122 - Incentives.

City council, at its discretion, and on a case-by-case basis, may enter into an agreement to reimburse any person firm, or corporation any or all or any portion of the following fees:

- 1.The hospitality fees collected by the City of Conway for as many as five (5) years.
- 2.The property taxes collected by the City of Conway for as many as five (5) years.
3. Expedited City of Conway review period of 15 days in lieu of the typical 30 days.

Sec. 1-5-123 - Reimbursement.

City council shall set a reimbursement cap for any and all reimbursements on a case-by-case basis. All reimbursements for any calendar year shall be applied for in writing between January 1 and January 31 of the following year. Failure to apply for reimbursement by the January 31 deadline shall result in forfeiture of reimbursements for that year as outlined in the agreement. The city shall pay all qualified reimbursement requests within 60 days of receipt. Reimbursements shall be made only to the person, firm or corporation who is a party to the agreement and only to the person, firm, or corporation who paid the applicable fee. No partial reimbursements will be made. The business in the subject building or storefront must be actively operating to receive reimbursement under this article.

Sec. 1-5-124 - Agreement required.

No reimbursement shall be made without an agreement signed by the interested person, firm or corporation and Conway City Council prepared in accordance with the terms outlined in this article. A signed agreement must be in place prior to the issuance of a business license or building permit. No agreements may be applied retroactively.

Sec. 1-5-125 - Transferability.

No reimbursements provided under this article are transferrable to any other person, firm, or corporation. The city shall not pay further reimbursements once the subject business has ceased to operate for a period exceeding 30 days.

Sec. 1-5-126 - Severability.

The reimbursement of fees program and any participants in the program provided for herein shall be fully subject to the impact of any changes in the tax laws of the City of Conway which may be imposed by the State of South Carolina or the United States. If any provisions of this article are deemed unenforceable or invalid, the remainder of the provisions herein shall remain in full force and effect. Conway City Council hereby declares that it would have adopted this article and each section, subsection, sentence, clause and provision herein without the section(s), subsection(s), sentence(s), clause(s), or provision(s) that are held to be enforceable or invalid.

Sec. 1-5-127 - Conflict.

All ordinances or parts of ordinances in conflict herewith are repealed to the extent necessary to give the provisions of this article full force and effect.

Sec. 1-5-128 - Effective date.

This article shall become effective upon adoption by the council of the City of Conway.

DATE: APRIL 18, 2022
ITEM: V.I.C.

ISSUE:

Discussion of a request by Oak Rentals LLC (Ryan Brown, agent) to rezone approximately 2.22 acres located at 1601 Third Ave (PINs 368-06-02-0001, 368-03-03-0017, and 368-04-04-0053) from High Density Residential (R3) to Highway Commercial (HC) in order to expand a business.

BACKGROUND:

The Brown family are owners of Conway Air Conditioning & Metal Company, Inc (Conway AC) and Oak Rentals LLC. In October 2020, staff of Conway Air Conditioning, located at the corner of Smith St and Third St, considered expanding their offices to property at 1601 Third Ave, which sits across the street from Conway AC and is owned by Oak Rentals LLC. At the time, the property held a single-family residential structure that staff thought might be re-usable as offices. Conway AC applied for a permit to re-roof the residential structure at 1601 Third Ave and expand their business. On closer inspection, however, the structure was found to be unfit for inhabitation; the following July, the company applied for a permit to demo the house. The demo was completed in 2021.

In the process, staff identified that the land owned by Oak Rentals LLC at 1601 Third Ave was not properly zoned for a business. The property was instead zoned for High Density Residential use (R3). In March 2022, the family applied for a rezoning for the property at 1601 Third Ave, plus two others they own along Third Ave and Second Ave that may be used for future business expansion.

CITY OF CONWAY COMPREHENSIVE PLAN:

The Future Land Use map in the *Comprehensive Plan* has split the property into two uses – High Density Residential for the northern/higher ground along Third Ave, and Conservation Preservation for the rear/southern portion of the property. The rear of 368-06-02-0001, in particular, is covered with wetlands that connect to the Santee Cooper property that fronts on Ash Pond Rd and Marina Dr.

RELATIONSHIP TO CITY POLICIES, PROJECTS, AND PUBLIC HEALTH/SAFETY

- *Overlay Zones:* Gateway Corridor Overlay (GCO)
- *Flood Zone:* Portion in AE 13 (1% Special Flood Hazard Area, formerly called the 100-year flood area); Portion in X (NOT part of the Special Flood Hazard Area); Limited area in x500 (0.2% Flood Chance Area, formerly known as the 500-year flood zone)
- *Public Street Access:* via Third Ave
- *Water/Sewer Access:* available to the site
- *Sidewalks:* none exist adjacent to these parcels along Third Ave or Second Ave

STAFF RECOMMENDATION:

Staff cited the Future Land Use map – which calls for this area to be high density residential – and the Comprehensive Plan’s support for local businesses.

PLANNING COMMISSION RECOMMENDATION:

The Planning Commission unanimously recommended approval of the proposed rezoning and recommended amending the Future Land Use map (5-0). Discussion included the following points:

- The Comprehensive Plan supports a variety of employment options that serve the community, and the applicant's family-owned business has been in the area since 1980. They had a dozen employees ten years ago; they now have 34 and need space to grow.
- The property includes a section of wetland that is not part of any future development options, although the applicant does not have sketches made yet.
- The property includes a platted right-of-way for Second Ave that is not connected to Third Ave due to a very large ditch. The applicant indicated there are no plans to construct an access point from Second Ave to Third Ave at this time.
- The Planning Commission expressed concern about potential commercial traffic on Second Avenue; the applicant replied that they intend for all operations to be accessed from Third Ave, leaving Second Ave as a residential street.
- There are many similar operations in the area.

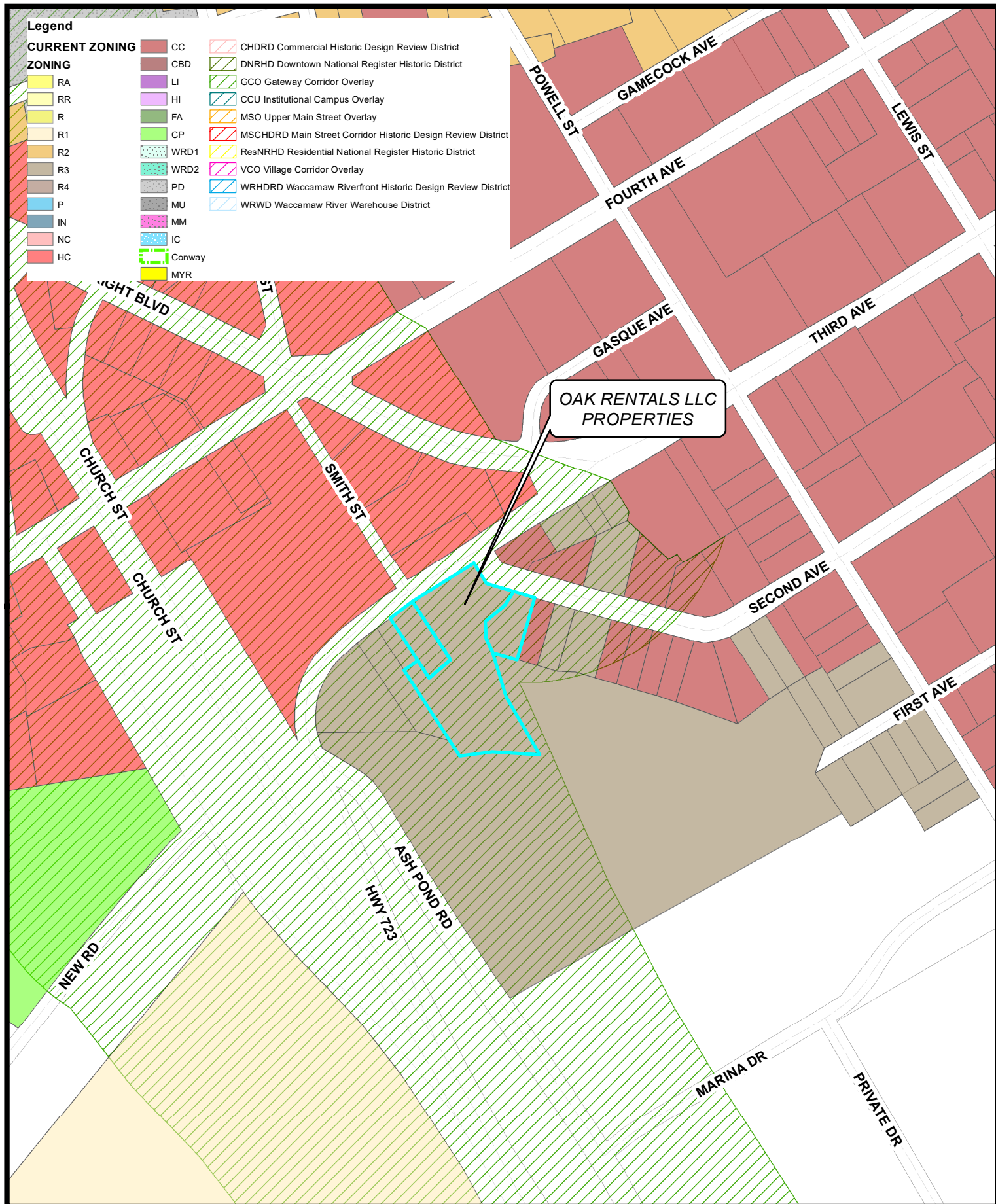
ATTACHMENTS:

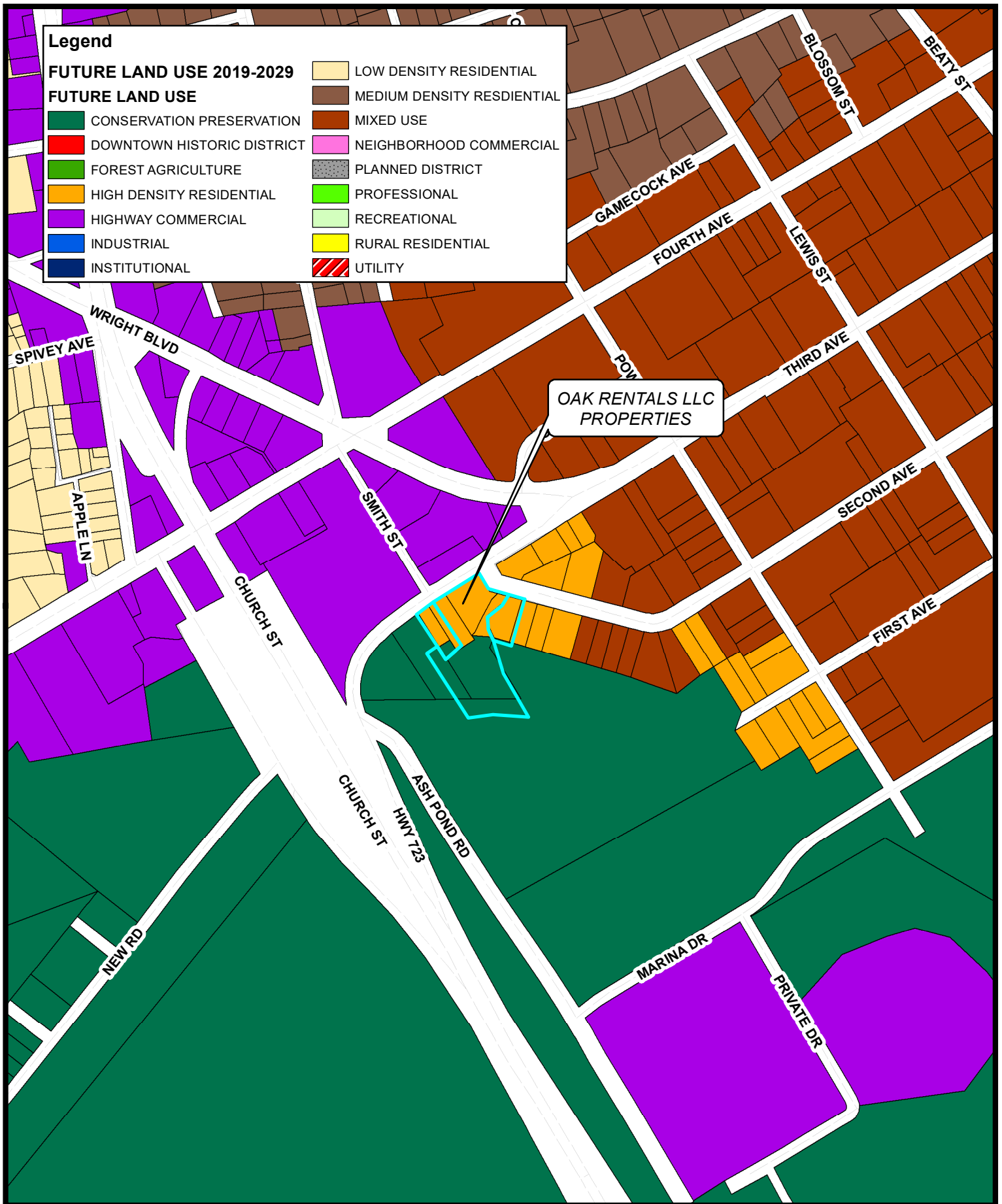
Maps

Table showing the difference in uses between R3 and HC zones


Rezoning Application











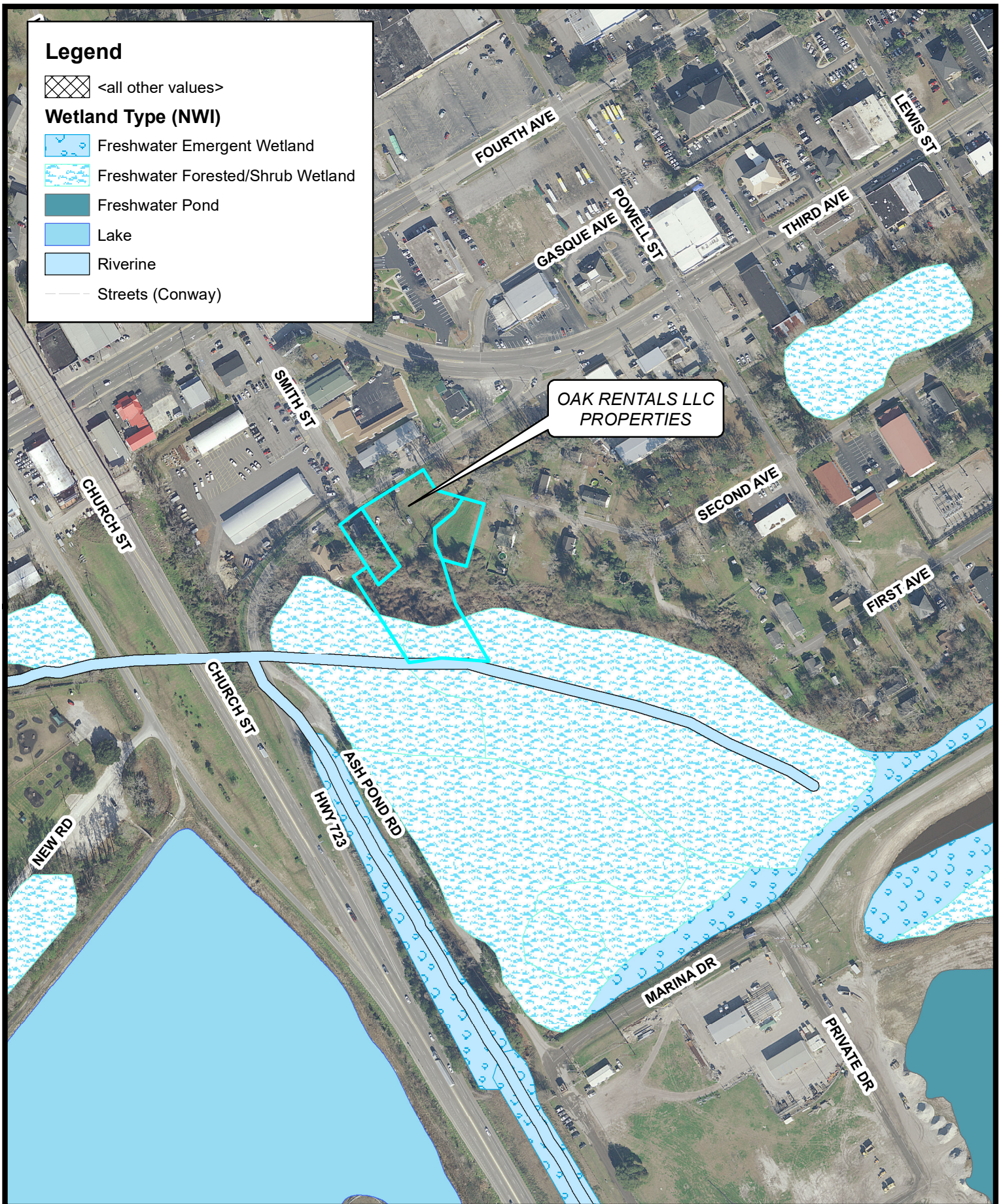


Legend

 <all other values>

Wetland Type (NWI)

-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Riverine
-  Streets (Conway)



USE COMPARISON BETWEEN
HIGH DENSITY RESIDENTIAL - HIGHWAY COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
A. RESIDENTIAL USES	SPECIFIC USES	R3	HC	Applicable Standards
Residential Dwelling Types	Duplex two family dwelling	C		6.2.4
	Multi-Family	C		6.2.7
	Single-family detached	P		6.2.1
	Single-family attached	C		6.2.6
	Single-family semi-detached	C		6.2.5
B. ACCESSORY USES	SPECIFIC USES	R3	HC	Applicable Standards
Dwelling Uses	Accessory Dwelling			6.2.2, 6.3.8, 6.3.9
	Bed & Breakfast Home	C		5.1.4
	Commercial Short-Term Rental			5.1.5
Business	Home-based Occupation	C		5.2.4
Agricultural	Non-commercial agriculture/horticulture			
	Non-commercial keeping of fowl/livestock			5.2.5
	Greenhouse	P _a	P _a	5.1.30, 5.2.1
Other	Boat Dock	P _a		
C. CONSERVATION USES	SPECIFIC USES	R3	HC	Applicable Standards
	Conservation Area	P	P	
	Forest Management Area			
	Fishing	P	P	
	Hunting			5.1.15
	Cemetery		P	
	Passive Open Space	P	P	
D. PARKS & RECREATION USES	SPECIFIC USES	R3	HC	Applicable Standards
Public Recreational Facilities	Recreational Facilities associated with Municipal, County, State, and Federal Governments and Schools	P	P	
Private Sports Facilities	Athletic Fields (w/ lights)		P	
	Athletic Fields (non-lighted)		P	
	Golf course (w/ lights)		P	
	Golf course (non-lighted)	P	P	
	Golf Driving Range		P	
	Gymnasiums		P	
	Outdoor Basketball Courts			
	Skating Rink		P	
	Swimming Facility Natatorium	P _a	P	5.2.8
	Tennis Facilities	P _a		
Other	Amenity Center	P _a		
	Miniature Golf		P	
E. AGRICULTURAL USES	SPECIFIC USES	R3	HC	Applicable Standards

USE COMPARISON BETWEEN
HIGH DENSITY RESIDENTIAL - HIGHWAY COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
	Agricultural Crop			
	Aquiculture			
	Fish Farms & Hatchery			
	Stabling, Raising of Horse & Cattle			5.2.5
	Tree Farms & Silviculture			
	Agricultural Research			
	Nursery, Garden Center		C	5.1.30
F. CIVIC/ INSTITUTIONAL USES	SPECIFIC USES	R3	HC	Applicable Standards
Community Residential Care Facility (CRCF)	Assisted Living Facility			
	Congregate Housing			
	Continuing Care Retirement Community			
	Group Home	C		5.1.14
	Nursing Home		P	
Day Care Facilities	Adult Day Care Services		C	5.1.7
	Day Care Facilities for Adults		C	5.1.7
	After School Program	C		5.1.7
	Child Day Care Facility		C	5.1.7
	Family Day Care Home	C		5.1.7
Community Support Services	Community Support Facility		C	5.1.32
	Outpatient Treatment Facility			5.1.32
Other Care Facilities	Funeral Home, Mortuary	C	C	5.1.12
	Hospital		P	
Assembly	Assembly Hall			
	Banquet Hall			5.1.3; 6.3.6
	Civic Club		P	
	Religious Institution	C	C	5.1.22; 6.3.6
Public Safety	Fire and Police Station	P	P	
Educational	Educational Facility	C	P	5.1.9
	Library		P	
	Museum		P	
	Vocational, Trade School		P	
G. PROFESSIONAL SERVICES	SPECIFIC USES	R3	HC	Applicable Standards
Business Office	Accounting Firm, Bookkeeper's Office		P	
	Administration Office		P	
	Advertising Agency		P	
	Architect's or Land Development Office		P	
	Brokerage Firm		P	
	Consulting Firm		P	
	Employment Agency		P	
	Engineering or Surveying		P	
	Financial Institution		P	
	Insurance Sales		P	

USE COMPARISON BETWEEN
HIGH DENSITY RESIDENTIAL - HIGHWAY COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
	Law Firm/Attorney Office		P	
	Real Estate Office		P	
	Secretarial Service		P	
	Travel Agency		P	
Medical/Clinical	Chiropractor		P	
	Clinics (not to include outpatient treatment facilities)		P	
	Counseling Service		P	
	Dentist / Orthodontist / Oral Surgeon		P	
	Doctor's Office		P	
Other	Charitable Institution (office)		P	
	Government Office		P	
	Religious Institution Office (no assembly)		P	
H. NEIGHBORHOOD COMMERCIAL	SPECIFIC USES	R3	HC	Applicable Standards
Personal Services	Barber Shops/Beauty Shop		P	
	Clothing Alterations, Tailor/Seamstress		P	
	Dance/Fitness Studio		P	
	Dry cleaner (no drive-thru)		P	
	Dry cleaner (with drive- thru)		C	5.1.8
	Hair or Nail Salon		P	
	Laundromat		P	
	Pharmacy		P	
	Shoe Repair		P	
	Tanning Salon		P	
	Doggie Daycare/Spa		C	5.1.31
Food & Convenience Stores	Bakery		P	
	Wholesale Bakery			
	Butcher Shop		P	
	Candy Store/Confectionary		P	
	Convenience Store		P	
	Fruit & Nut Store		P	
	Grocery Store		P	5.1.13
	Health, Nutrition Food Store, Vitamin Store		P	
	Ice Cream Shop		P	
	News Stand		P	
	Produce Stand		P	5.1.20
	Wholesale Produce			
	Specialty Food Store		P	
Dining	Bars, Tavern, Nightclub		P	5.1.25
	Teen Club, Teen Dance Club		P	5.1.25
	Café & Coffee Shop		P	

USE COMPARISON BETWEEN
HIGH DENSITY RESIDENTIAL - HIGHWAY COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
Dining	Restaurant (no drive-thru)		P	
	Sidewalk Café and Outdoor Dining		C	5.1.23
	Parklet			5.1.23
Clothing	Bridal, Formal Wear Shop		P	
	Clothing Store, Specialty Shop		P	
Artists & Craftsmen's Stores	Antique Store		P	
	Artists' Studio & Gallery		P	
	Frame Shop		P	
	Gift Shop		P	
	Hobby/Craft Shop		P	
	Photography Sale & Studio, Film Developing		P	
Specialty Retail	Bookstore		P	
	Tobacco Shop		P	
	Florist		P	
	Wholesale Florist			
	Hardware Store		P	
	Musical Instrument Sales & Repair		P	
	Pet Supply, Pet Grooming		P	
	Music Store		P	
	Stationary Shop		P	
Other	ATM Bank Machine		P _a	
	Gas & Service Station		P	
	Optical & Hearing Center		P	
Retail & Service	Appliance Sales & Service		P	
	Big Box Retail Store, Department Store		P	
	Boat Sales		P	
	Boat Service		P	
	Computer Sales & Service		P	
	Copying Center, Print Shops		P	
	Discount Store		P	
	Fabric Shop		P	
	Furniture Repair & Upholstery		P	
	Furniture Store & Showroom		P	
	Jeweler		P	
	Leather Shop		P	
	Package Store, Liquor Stores		P	
	Shoe Store		P	
	Shopping Center		P	
	Sign Shop		P	
I. HIGHWAY COMMERCIAL	SPECIFIC USES	R3	HC	Applicable Standards
	Auto Accessory Store		P	
	Automobile Dealership		P	

USE COMPARISON BETWEEN
HIGH DENSITY RESIDENTIAL - HIGHWAY COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
Auto-Oriented Uses	Car Wash & Detailing		C	5.1.6
	Rental Car Agency		P	
	Truck & Auto Repair Service		P	
Supply & Wholesale	Building Supply, Equipment Sales		P	
	Office Supply Store		P	
	Paint, Wallpaper, Flooring Supply & Sales		P	
Entertainment Venues	Arcades, Billiard		P	
	Bingo Establishment		P	
	Bowling Alley		P	
	Multiplex Movie Theater		P	
	Drive-In Movie Theater			
	Amphitheaters			5.1.34
	Theater		P	
Other	Farmers' Market		C	5.1.10
	Fitness Center, Athletic Club		P	
	Hotel, Motel, Inn		P	
	Restaurant w/ Drive-thru		P	
I. HIGHWAY COMMERCIAL	SPECIFIC USES	R3	HC	Applicable Standards
Restricted Uses	Adult-Oriented Establishment			5.1.1
	Armory		P	5.1.18
	Bail Bonds Establishment			5.1.2
	Body Piercing Shop		C	5.1.24
	Drive-in Movie Theater		C	
	Flea Market		C	5.1.11
	Manufactured and Modular Home Sales			5.4.1, 5.1.18
	Mobile Vending	C	C	5.1.16
	Pawn Shop		P	5.1.18
	Portable Storage Unit	C	C	5.2.7
	Private Club		C	
	Mini Storage Unit (Mini Storage Warehouse)		C	5.1.18, 5.1.29
	Sporting Goods		P	
	Tattoo Parlor			5.1.24
	Veterinarian/Animal Clinic		C	5.1.18, 5.1.28
J. LIGHT INDUSTRIAL	SPECIFIC USES	R3	HC	Applicable Standards
Research/ Science	Research Facility			5.1.18
	Science Laboratory			5.1.18
Light Industrial	Custom Manufacturing		C	5.1.18
	High Technology Industry			5.1.18
	Limited Industrial			5.1.18
	Microbrewery		P _a	5.1.18
	Building Supply Lumber Yard		C	5.1.18

USE COMPARISON BETWEEN
HIGH DENSITY RESIDENTIAL - HIGHWAY COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
Light Storage/ Distribution	Warehousing		C	5.1.18
	Wholesaling, Storage & Distribution (Light)			5.1.18
K. HEAVY MANUFACTURING & DISTRIBUTION	SPECIFIC USES	R3	HC	Applicable Standards
Production & Processing	Agricultural Processing			5.1.18
	Alternative Energy Production			5.1.18
	Heavy Industrial			5.1.18
	Manufacturing, Processing			5.1.18
	Meat Processing		C	5.1.18
	Mining or Well-drilling			5.1.18, 6.4.4
Distribution & Storage	Container Switchyard & Container Storage			5.1.18
	Truck & Railroad Terminal			5.1.18
	Wholesaling, Storage & Distribution (Heavy)			5.1.18
L. PUBLIC INFRASTRUCTURE	SPECIFIC USES	R3	HC	Applicable Standards
Transportation	Airfield, Airport		P	
	Bus, train, or taxi lot and facility		P	5.1.18
	Parking Deck		C	
	Passenger Facility (transit stop, station)	P	P	5.1.26
	Parking Lot		C	5.1.33
Utilities	Cellular/Wireless Communication Tower			5.1.27
	Public Utility Facility	C	C	5.1.21
Other	Recycling Center			5.1.18
	Marinas (public and private)			



Zoning Map Amendment Application

Incomplete applications will not be accepted.

Staff Use Only

Received: _____
Staff: _____

City of Conway Planning Department
206 Laurel Street, 29526

Phone: (843) 488-9888
Conway, South Carolina

FAX: (843) 488-9890
www.cityofconway.com

Notice

All zoning map amendments shall follow the procedures set forth in Section 13.1.7 of the City of Conway Unified Development Ordinance. Amendments to the Official Zoning Map shall be initiated by members of City Council, the Planning Commission, the Planning Director, or owner(s) of the subject property. In order to partially defray the administrative cost of zoning map amendments, the applicant shall pay a filing fee to the City of Conway in the amount of \$250.00 at the time this application is submitted. Planned Development rezonings are \$2,500.00 and Planned Development Amendments are \$500.00, and due at the time of submission. R-1 rezoning requests will not be charged a fee. A plat of the property to be rezoned may be required with this application.

PHYSICAL ADDRESS OF PROPERTY: 1601 3rd Ave. FEE PAID ☒ YES ☐ NO
AREA OF SUBJECT PROPERTY (ACREAGE): 1.7, .254, .270 PIN: 368-06-02-0001
CURRENT ZONING CLASSIFICATION: Res 368-03-03-0017
368-04-04-0053
COMPREHENSIVE PLAN 2035 FUTURE LAND USE Office expansion
REQUESTED ZONING CLASSIFICATION: H/C

NAME OF PROPERTY OWNER(S):

Oak Rentals LLC

PHONE # 843-995-1206

Cecil and Monica Brown

PHONE # 843-995-1206

MAILING ADDRESS OF PROPERTY OWNER(S):

275 Brown Swamp Road

Conway, SC 29527

I (we) the owner(s) do hereby certify that all information presented in this Zoning Map Amendment Application is correct and there are no covenants or deed restrictions in place that would prohibit this request.

Cecil Brown
PROPERTY OWNER'S SIGNATURE(S)

3-10-2022
DATE

Monica Brown
PROPERTY OWNER'S SIGNATURE(S)

3-10-2022
DATE

THE APPLICANT OR A REPRESENTATIVE MUST BE PRESENT AT THE MEETING.

Ryan Brown@conwayAZ.com



PLANNING DEPARTMENT

196 LAUREL STREET
CONWAY, SOUTH CAROLINA 29526
843-488-9888
WWW.CITYOFCONWAY.COM

DESIGNATION OF AGENT

(If the Property Owner Wishes To Appoint an Agent to Represent Him or Herself)

Agents Name: Ryan Brown
Address: 300 Smith St, Conway, SC
Telephone: 843-995-1270 Email: ryanbrown@conwaysc.com

I hereby appoint the person(s) listed above as agent to act on my behalf for the purpose of filing such application for a variance as he/she shall deem necessary and proper.

Oak Rentals, LLC
Cecil S. Brown

PROPERTY OWNER(S) NAME (PRINT)

Cecil S. Brown
PROPERTY OWNER SIGNATURE

3-18-22
DATE

DATE: APRIL 18, 2022
ITEM: VI.D.

ISSUE:

Discussion of a request by Health Care Partners of SC, Inc (G3 Engineering & Surveying, agents) to rezone 4.83 acres located at 1500 Fourth Ave (PINs 368-04-04-0028 and 368-03-02-0102) from Commercial Core (CC) to Highway Commercial (HC).

BACKGROUND:

In March 2022, Dollar General applied for a building permit for their property located at 1503 Fourth Ave. The design included a parking lot between the primary structure and Fourth Ave. The design did not meet the Commercial Core (CC) district requirements, including placing parking in the rear of a primary structure, and having the primary structure sited within three feet (3') of the adjacent public street and sidewalk for ease of pedestrian access. Representatives for Dollar General inquired about rezoning their property and were informed that there was an additional lot between the Dollar General site and the nearest Highway Commercial zone. Dollar General then partnered with the neighboring property owners, Health Care Partners of SC, Inc (HCPSC), and both applied to rezone their properties. HCPSC intends to partner with Conway Medical Center (CMC) and construct a Federally Qualified Health Care Center on the site where Dollar General currently stands.

The intent of the CC District is to establish a thriving commercial and mixed-use district adjacent to the Central Business District that provides form and use of development compatible to that of the CBD, but not as strict with regards to design standards.

CITY OF CONWAY COMPREHENSIVE PLAN:

The Future Land Use map in the *Comprehensive Plan* identifies this parcel as Mixed Use, which is the same category for all properties currently zoned Commercial Core (CC). In the Future Land Use map, the Mixed Use/Commercial Core district connects the Downtown Historic District on the river/east side of Conway to the central Highway Commercial (HC) district that covers the major intersections of Fourth Ave/Hwy 701 and Wright Blvd/Hwy 378, as well as Fourth Ave/Hwy 701 and Church St/US 501.

The Future Land Use Strategies and Policy in the current *Comprehensive Plan* provides additional insight into why certain areas were proposed as mixed-use districts and others were proposed for highway commercial:

Mixed Use – This category will be applied to areas with different existing conditions:

- 1) areas where properties have buildings that may be underutilized or in danger of blighted conditions;
- 2) multiple vacant parcels that may serve to blend different uses;
- 3) areas where mixed use allowances would help establish a better land use pattern; [and]
- 4) Areas where mixed use allowances are appropriate due to adjacent development patterns.

Highway Commercial – This category provides a host of shopping and entertainment opportunities and is typically found on or near major highways.

RELATIONSHIP TO CITY POLICIES, PROJECTS, AND PUBLIC HEALTH/SAFETY

- *Overlay Zones*: none
- *Flood Zone*: X (NOT part of the Special Flood Hazard Area)
- *Public Street Access*: via Fourth Ave, Powell St, and Fifth Ave
- *Water/Sewer Access*: available to the site
- *Sidewalks*: already installed on Fourth Ave

STAFF RECOMMENDATION:

Staff does not support the rezoning for the following reasons:

1. The Comprehensive Plan envisions this property in a mixed use/core commercial zone, which is designed to increase walkability and to encourage development of underutilized or blighted properties (see *2035 Future Land Use Strategies and Policy*).
2. The proposed use can be built in the current zone.

PLANNING COMMISSION RECOMMENDATION:

The Planning Commission received input from the staff, the applicant, and the Chamber of Commerce.

Jim Eubanks with HCPSC outlined their plan to develop a community health center (CHC) on the site. CHCs are non-profit, community-owned organizations that serve medically underserved communities. No patients are turned away due to inability to pay. In addition to a health center, the project will include diagnostic services from CMC (x-rays, MRIs, ultrasounds, CT scans) and specialists on rotation. Mr. Eubanks stated that HCPSC began planning for such a facility after recent flood events shed light on the lack of critical medical and clinical services west of the Waccamaw River.

The Commission then unanimously recommended approval at their 4/7/22 meeting, and also recommended a re-evaluation of the Future Land Use map for the Fourth Ave corridor between Wright Blvd/Hwy 378 and Powell St (5-0). In their discussions, they cited the following:

1. They agreed with the applicant that the structure of Fourth Ave between Powell St and Wright Blvd is primarily an acceleration/ deceleration function to convey traffic from the downtown to Hwy 701/Wright Blvd and on to US 501. On-street parking, a staple of most of the Core Commercial area of Fourth Ave, is not allowed by DOT in an acceleration / deceleration zone.
2. They cited the multiple existing projects surrounding this property that are already developed with parking between the street and structure.
3. They cited the topography of the HCPSC site, and how placing the building adjacent to the sidewalks on Fourth St would result in a flood risk from stormwater running downhill from Fifth Ave.
4. They proposed that staff re-evaluate the Core Commercial zoning along Fourth Ave between Wright Blvd/Hwy 378 and Powell St, from Fifth Ave to Gasque. They supported the idea that the Core Commercial/Mixed Use districts should stop at Powell St and convert to Highway Commercial between Powell and Wright Blvd/Hwy 378.

ATTACHMENTS:

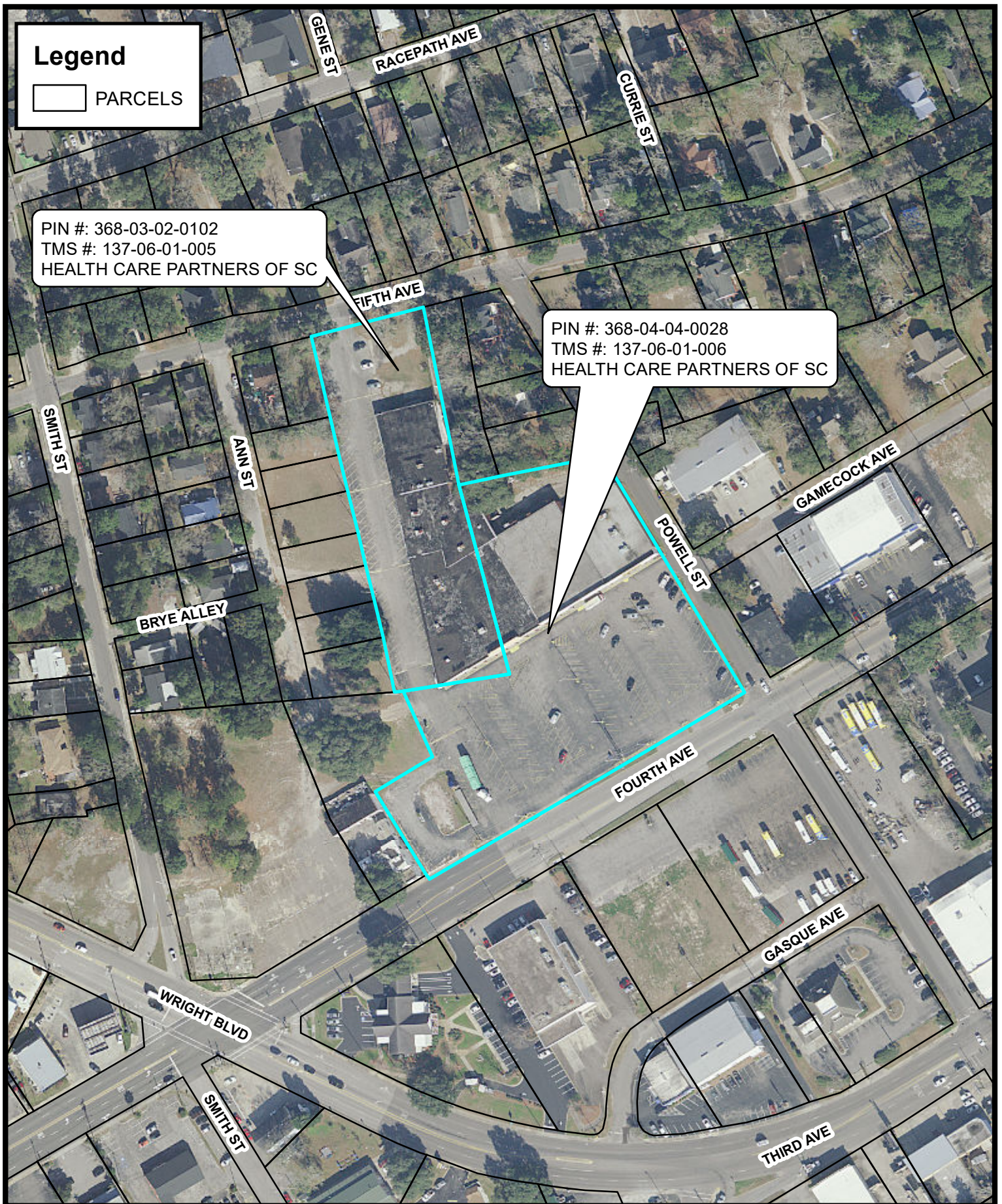
Maps

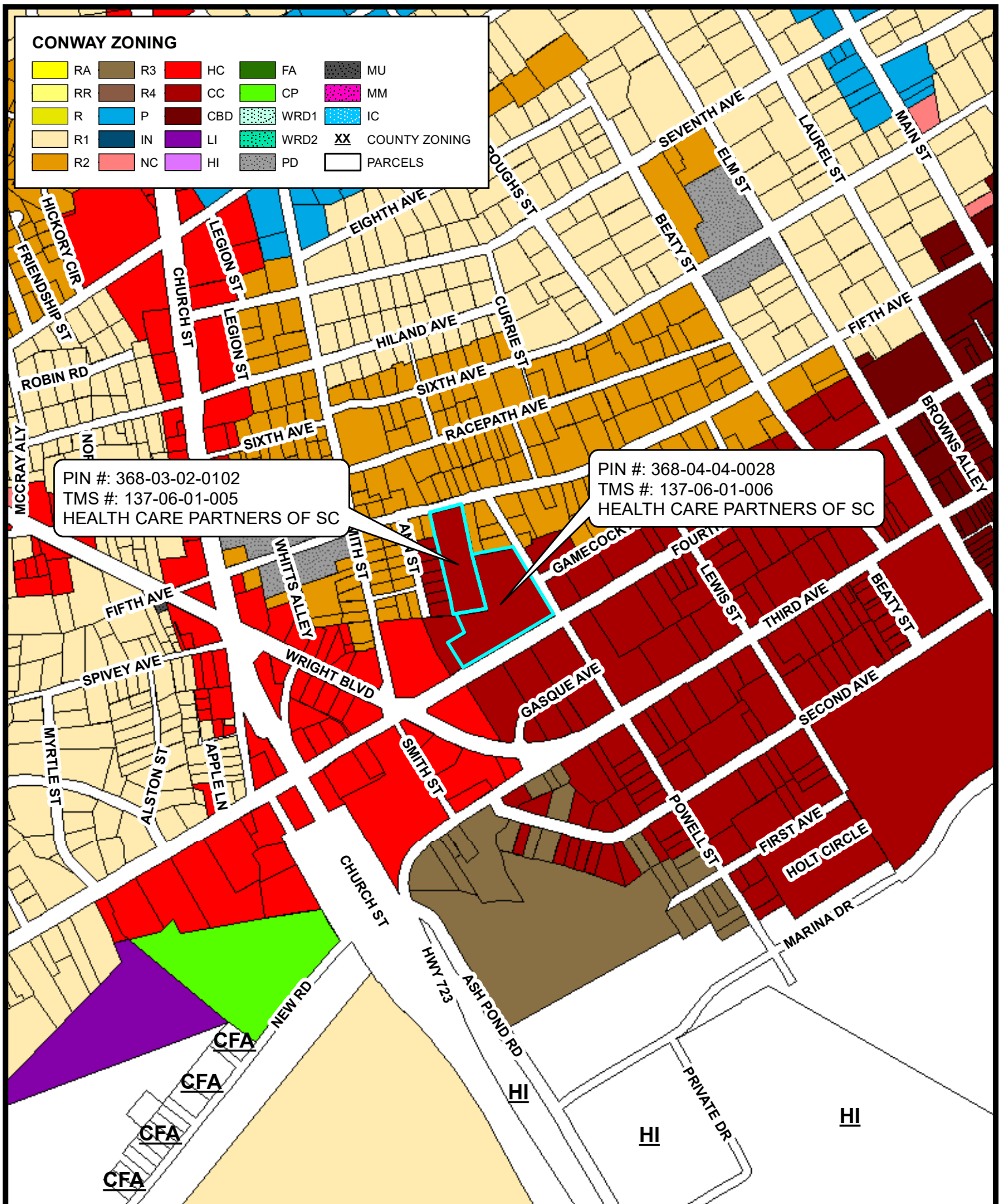
Comp Plan citations

able showing the difference in uses between CC and HC zones

Rezoning Application







Legend

FUTURE LAND USE 2019-2029

FUTURE LAND USE

CONSERVATION PRESERVATION

DOWNTOWN HISTORIC DISTRICT

FOREST AGRICULTURE

HIGH DENSITY RESIDENTIAL

HIGHWAY COMMERCIAL

INDUSTRIAL

INSTITUTIONAL

LOW DENSITY RESIDENTIAL

MEDIUM DENSITY RESIDENTIAL

MIXED USE

NEIGHBORHOOD COMMERCIAL

PLANNED DISTRICT

PROFESSIONAL

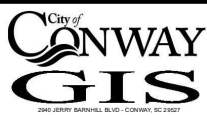
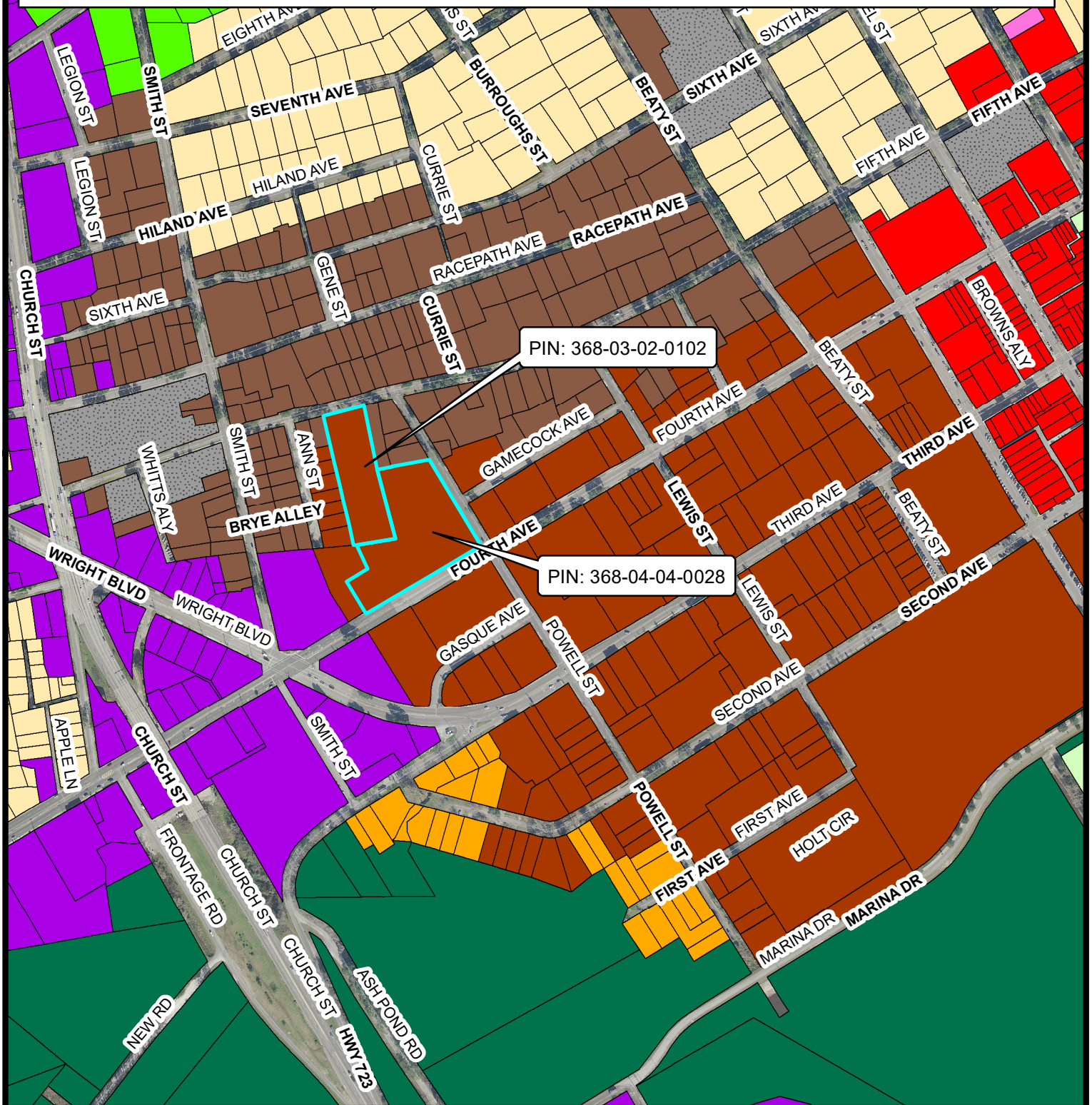
RECREATIONAL

RURAL RESIDENTIAL

UTILITY

Streets (Conway)

Horry County Roads



Disclaimer: This map is a graphic representation only. It is NOT a survey. All efforts have been made to ensure its accuracy. However, the City of Conway disclaims all responsibility & liability for the use of this map.



FUTURE LAND USE PLAN
PINs: 368-04-04-0028, 368-03-02-0102
1500 FOURTH AVE



FUTURE LAND USE STRATEGIES AND POLICY

Conway is a unique city in Horry County in that it offers residents an array of amenities including a vibrant downtown, pristine natural resources, modern recreational facilities, prominent educational institutions and a range of housing options. The overall goal of the future land use map is to provide a blueprint for growth that both enhances the quality of life for current Conway residents and accommodates future development. Through the land use categories outlined below, it is the intent of the City to protect established residential areas, focus commercial and industrial growth where there is appropriate infrastructure, preserve and enhance historical resources, and blend the transition areas between differing land uses through site design. It is also essential to ensure that future growth can be accommodated in an environmentally and fiscally responsible manner while preserving Conway's unique sense of place.

The future land use map addresses all property in the Conway Water and Sewer Service Area. Each area has been given a future land use classification based on the categories defined below:

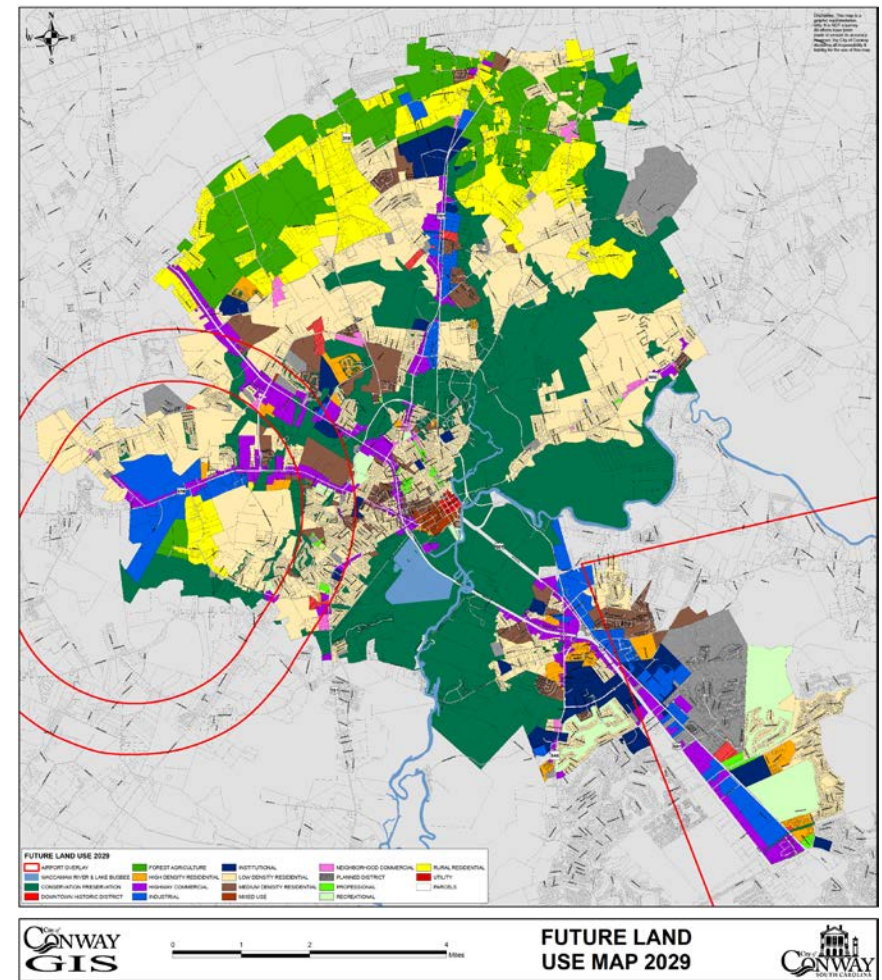
- ❑ Existing Residential – Conway has many established residential neighborhoods, which vary greatly in housing style, lot size and density. In those areas that have a clear and consistent development pattern, future building should reflect the land use and density that has already been established.
- ❑ Rural Residential – The Rural Residential category is applied to areas, which remain rural in nature with large parcels and are

nearer to the outer boundaries of the Service Area. These areas, if developed, are typically half acre lots or larger.

- ❑ Low Density Residential – Lot sizes for this category usually range from 7,500 to 20,000 square feet in size and are found throughout the Conway area.
- ❑ Medium Density Residential – Lot sizes are generally 6,000 to 7,500 square feet in size and are found throughout the Conway area.
- ❑ High Density Residential – Typically multi-family uses but may be small lot developments and are found throughout the Conway area.
- ❑ Conservation/Preservation – This category allows the least intense use of all categories due to its location, which in many cases, provides critical wildlife habitat or is in environmentally sensitive areas such as floodplains and wetlands. Most parcels are suitable for passive recreation and in some instances active recreation.
- ❑ Forest/Agriculture – This category is applied to rural areas suitable for agricultural use and timber harvesting.
- ❑ Recreational – This land use category is applied to parcels that are suitable for a variety of either passive or active recreation.
- ❑ Institutional – Institutional land use includes educational facilities, government buildings, libraries, and hospitals.
- ❑ Professional – The professional land use category is used for areas suitable for professional office development.
- ❑ Industrial – The industrial category is applied to large parcels near major highways, which may have rail service. Existing water and sewer service are important in locating industrial uses.

- ❑ Rural Commercial – This category is used to designate areas that define rural communities and provide convenient services. They many times are located at crossroads or intersections.
- ❑ Neighborhood Commercial – Commercial locations that provide or could provide convenient neighborhood shopping and do not disrupt adjacent residential uses.
- ❑ Highway Commercial – This category provides a host of shopping and entertainment opportunities and is typically found on or near major highways.
- ❑ Utilities and Services – This category includes but is not limited to sewer substations, electrical substations, major power lines rights of way, power plants, and fire towers.
- ❑ Mixed Use – This category will be applied to areas with different existing conditions: 1) areas where properties have buildings that may be underutilized or in danger of blighted conditions; 2) multiple vacant parcels that may serve to blend different uses; 3) areas where mixed use allowances would help establish a better land use pattern; 4) Areas where mixed use allowances are appropriate due to adjacent development patterns.
- ❑ Downtown Historic District(s) - This category is used to preserve centrally located businesses in the core area where historically the buildings are compact.

Map DRAFT City of Conway Future Land Use Map (2029)



USE COMPARISON BETWEEN
HIGHWAY COMMERCIAL and CORE COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
A. RESIDENTIAL USES	SPECIFIC USES	HC	CC	Applicable Standards
Residential Dwelling Types	Duplex two family dwelling			6.2.4
	Multi-Family		C	6.2.7
	Single-family detached			6.2.1
	Single-family attached		C	6.2.6
	Single-family semi-detached			6.2.5
B. ACCESSORY USES	SPECIFIC USES	HC	CC	Applicable Standards
Dwelling Uses	Accessory Dwelling			6.2.2, 6.3.8, 6.3.9
	Bed & Breakfast Home			5.1.4
	Commercial Short-Term Rental		C	5.1.5
Business	Home-based Occupation			5.2.4
Agricultural	Non-commercial agriculture/horticulture			
	Non-commercial keeping of fowl/livestock			5.2.5
	Greenhouse	P _a		5.1.30, 5.2.1
Other	Boat Dock			
C. CONSERVATION USES	SPECIFIC USES	HC	CC	Applicable Standards
	Conservation Area	P	P	
	Forest Management Area			
	Fishing	P	P	
	Hunting			5.1.15
	Cemetery	P		
	Passive Open Space	P	P	
D. PARKS & RECREATION USES	SPECIFIC USES	HC	CC	Applicable Standards
Public Recreational Facilities	Recreational Facilities associated with Municipal, County, State, and Federal Governments and Schools	P	P	
Private Sports Facilities	Athletic Fields (w/ lights)	P		
	Athletic Fields (non-lighted)	P		
	Golf course (w/ lights)	P		
	Golf course (non-lighted)	P		
	Golf Driving Range	P		
	Gymnasiums	P		
	Outdoor Basketball Courts			
	Skating Rink	P		
	Swimming Facility Natatorium	P		5.2.8
	Tennis Facilities			
Other	Amenity Center			
	Miniature Golf	P		
E. AGRICULTURAL USES	SPECIFIC USES	HC	CC	Applicable Standards

USE COMPARISON BETWEEN
HIGHWAY COMMERCIAL and CORE COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
	Agricultural Crop			
	Aquiculture			
	Fish Farms & Hatchery			
	Stabling, Raising of Horse & Cattle			5.2.5
	Tree Farms & Silviculture			
	Agricultural Research			
	Nursery, Garden Center	C		5.1.30
F. CIVIC/ INSTITUTIONAL USES	SPECIFIC USES	HC	CC	Applicable Standards
Community Residential Care Facility (CRCF)	Assisted Living Facility			
	Congregate Housing			
	Continuing Care Retirement Community			
	Group Home		C	5.1.14
	Nursing Home	P		
Day Care Facilities	Adult Day Care Services	C	C	5.1.7
	Day Care Facilities for Adults	C	C	5.1.7
	After School Program			5.1.7
	Child Day Care Facility	C	C	5.1.7
	Family Day Care Home			5.1.7
Community Support Services	Community Support Facility	C	C	5.1.32
	Outpatient Treatment Facility			5.1.32
Other Care Facilities	Funeral Home, Mortuary	C	C	5.1.12
	Hospital	P		
Assembly	Assembly Hall			
	Banquet Hall		P	5.1.3; 6.3.6
	Civic Club	P	P	
	Religious Institution	C	C	5.1.22; 6.3.6
Public Safety	Fire and Police Station	P	P	
Educational	Educational Facility	P	P	5.1.9
	Library	P	P	
	Museum	P	P	
	Vocational, Trade School	P	Pa ⁶	
G. PROFESSIONAL SERVICES	SPECIFIC USES	HC	CC	Applicable Standards
Business Office	Accounting Firm, Bookkeeper's Office	P	P	
	Administration Office	P	P	
	Advertising Agency	P	P	
	Architect's or Land Development Office	P	P	
	Brokerage Firm	P	P	
	Consulting Firm	P	P	
	Employment Agency	P	P	
	Engineering or Surveying	P	P	
	Financial Institution	P	P	
	Insurance Sales	P	P	

USE COMPARISON BETWEEN
HIGHWAY COMMERCIAL and CORE COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
	Law Firm/Attorney Office	P	P	
	Real Estate Office	P	P	
	Secretarial Service	P	P	
	Travel Agency	P	P	
Medical/Clinical	Chiropractor	P	P	
	Clinics (not to include outpatient treatment facilities)	P	P	
	Counseling Service	P	P	
	Dentist / Orthodontist / Oral Surgeon	P	P	
	Doctor's Office	P	P	
Other	Charitable Institution (office)	P	P	
	Government Office	P	P	
	Religious Institution Office (no assembly)	P	P	
H. NEIGHBORHOOD COMMERCIAL	SPECIFIC USES	HC	CC	Applicable Standards
Personal Services	Barber Shops/Beauty Shop	P	P	
	Clothing Alterations, Tailor/Seamstress	P	P	
	Dance/Fitness Studio	P	P	
	Dry cleaner (no drive-thru)	P	P	
	Dry cleaner (with drive- thru)	C	C	5.1.8
	Hair or Nail Salon	P	P	
	Laundromat	P	P	
	Pharmacy	P	P	
	Shoe Repair	P	P	
	Tanning Salon	P	P	
	Doggie Daycare/Spa	C		5.1.31
Food & Convenience Stores	Bakery	P	P	
	Wholesale Bakery			
	Butcher Shop	P		
	Candy Store/Confectionary	P	P	
	Convenience Store	P	P	
	Fruit & Nut Store	P	P	
	Grocery Store	P	P	5.1.13
	Health, Nutrition Food Store, Vitamin Store	P	P	
	Ice Cream Shop	P	P	
	News Stand	P	P	
	Produce Stand	P	C	5.1.20
	Wholesale Produce			
	Specialty Food Store	P	P	
Dining	Bars, Tavern, Nightclub	P	P	5.1.25
	Teen Club, Teen Dance Club	P	P	5.1.25
	Café & Coffee Shop	P	P	

USE COMPARISON BETWEEN
HIGHWAY COMMERCIAL and CORE COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
Dining	Restaurant (no drive-thru)	P	P	
	Sidewalk Café and Outdoor Dining	C	C	5.1.23
	Parklet			5.1.23
Clothing	Bridal, Formal Wear Shop	P	P	
	Clothing Store, Specialty Shop	P	P	
Artists & Craftsmen's Stores	Antique Store	P	P	
	Artists' Studio & Gallery	P	P	
	Frame Shop	P	P	
	Gift Shop	P	P	
	Hobby/Craft Shop	P	P	
	Photography Sale & Studio, Film Developing	P	P	
Specialty Retail	Bookstore	P	P	
	Tobacco Shop	P	P	
	Florist	P	P	
	Wholesale Florist			
	Hardware Store	P	P	
	Musical Instrument Sales & Repair	P	P	
	Pet Supply, Pet Grooming	P	P	
	Music Store	P	P	
	Stationary Shop	P	P	
Other	ATM Bank Machine	P _a	P _a	
	Gas & Service Station	P	P	
	Optical & Hearing Center	P	P	
Retail & Service	Appliance Sales & Service	P	P	
	Big Box Retail Store, Department Store	P		
	Boat Sales	P		
	Boat Service	P		
	Computer Sales & Service	P	P	
	Copying Center, Print Shops	P	P	
	Discount Store	P	P	
	Fabric Shop	P	P	
	Furniture Repair & Upholstery	P	P	
	Furniture Store & Showroom	P	P	
	Jeweler	P	P	
	Leather Shop	P	P	
	Package Store, Liquor Stores	P	P	
	Shoe Store	P	P	
	Shopping Center	P		
	Sign Shop	P	P	
I. HIGHWAY COMMERCIAL	SPECIFIC USES	HC	CC	Applicable Standards
	Auto Accessory Store	P	P	
	Automobile Dealership	P	P	

USE COMPARISON BETWEEN
HIGHWAY COMMERCIAL and CORE COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
Auto-Oriented Uses	Car Wash & Detailing	C		5.1.6
	Rental Car Agency	P		
	Truck & Auto Repair Service	P		
Supply & Wholesale	Building Supply, Equipment Sales	P		
	Office Supply Store	P	P	
	Paint, Wallpaper, Flooring Supply & Sales	P	P	
Entertainment Venues	Arcades, Billiard	P	P _a	
	Bingo Establishment	P		
	Bowling Alley	P		
	Multiplex Movie Theater	P		
	Drive-In Movie Theater			
	Amphitheaters			5.1.34
	Theater	P	P	
Other	Farmers' Market	C	C	5.1.10
	Fitness Center, Athletic Club	P	P	
	Hotel, Motel, Inn	P	P	
	Restaurant w/ Drive-thru	P		
I. HIGHWAY COMMERCIAL	SPECIFIC USES	HC	CC	Applicable Standards
Restricted Uses	Adult-Oriented Establishment			5.1.1
	Armory	P		5.1.18
	Bail Bonds Establishment			5.1.2
	Body Piercing Shop	C	C	5.1.24
	Drive-in Movie Theater	C		
	Flea Market	C		5.1.11
	Manufactured and Modular Home Sales			5.4.1, 5.1.18
	Mobile Vending	C	C	5.1.16
	Pawn Shop	P		5.1.18
	Portable Storage Unit	C	C	5.2.7
	Private Club	C		
	Mini Storage Unit (Mini Storage Warehouse)	C		5.1.18, 5.1.29
	Sporting Goods	P	P	
	Tattoo Parlor			5.1.24
	Veterinarian/Animal Clinic	C		5.1.18, 5.1.28
J. LIGHT INDUSTRIAL	SPECIFIC USES	HC	CC	Applicable Standards
Research/ Science	Research Facility			5.1.18
	Science Laboratory			5.1.18
Light Industrial	Custom Manufacturing	C	P _a ¹	5.1.18
	High Technology Industry			5.1.18
	Limited Industrial			5.1.18
	Microbrewery	P _a	P _a	5.1.18
	Building Supply Lumber Yard	C		5.1.18

USE COMPARISON BETWEEN
HIGHWAY COMMERCIAL and CORE COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
Light Storage/ Distribution	Warehousing	C		5.1.18
	Wholesaling, Storage & Distribution (Light)			5.1.18
K. HEAVY MANUFACTURING & DISTRIBUTION	SPECIFIC USES	HC	CC	Applicable Standards
Production & Processing	Agricultural Processing			5.1.18
	Alternative Energy Production			5.1.18
	Heavy Industrial			5.1.18
	Manufacturing, Processing			5.1.18
	Meat Processing	C		5.1.18
	Mining or Well-drilling			5.1.18, 6.4.4
Distribution & Storage	Container Switchyard & Container Storage			5.1.18
	Truck & Railroad Terminal			5.1.18
	Wholesaling, Storage & Distribution (Heavy)			5.1.18
L. PUBLIC INFRASTRUCTURE	SPECIFIC USES	HC	CC	Applicable Standards
Transportation	Airfield, Airport	P		
	Bus, train, or taxi lot and facility	P	P	5.1.18
	Parking Deck	C	C	
	Passenger Facility (transit stop, station)	P	P	5.1.26
	Parking Lot	C	C	5.1.33
Utilities	Cellular/Wireless Communication Tower			5.1.27
	Public Utility Facility	C	C	5.1.21
Other	Recycling Center			5.1.18
	Marinas (public and private)			



Zoning Map Amendment Application

Incomplete applications will not be accepted.

Staff Use Only

Received: _____
BS&A #: _____

City of Conway Planning Department
206 Laurel Street, 29526

Phone: (843) 488-9888
Conway, South Carolina

FAX: (843) 488-9890
www.cityofconway.com

Notice

All zoning map amendments shall follow the procedures set forth in Section 13.1.7 of the City of Conway Unified Development Ordinance. Amendments to the Official Zoning Map shall be initiated by members of City Council, the Planning Commission, the Planning Director, or owner(s) of the subject property. In order to partially defray the administrative cost of zoning map amendments, the applicant shall pay a filing fee to the City of Conway in the amount of \$250.00 at the time this application is submitted. Planned Development rezonings are \$2,500.00 and Planned Development Amendments are \$500.00, and due at the time of submission. R-1 rezoning requests will not be charged a fee. A plat of the property to be rezoned may be required with this application.

PHYSICAL ADDRESS OF PROPERTY: 1500 Fourth Ave FEE PAID ☐ YES ☐ NO

AREA OF SUBJECT PROPERTY (ACREAGE): 3.14 + 1.69 = 4.83 AC PIN: 36804040028; 36803020102

CURRENT ZONING CLASSIFICATION: CC

COMPREHENSIVE PLAN 2035 FUTURE LAND USE: Mixed Use

REQUESTED ZONING CLASSIFICATION: HC

NAME OF PROPERTY OWNER(S):

HEALTH CARE PARTNERS OF SC INC

PHONE # 843-488-6363

PHONE # _____

MAILING ADDRESS OF PROPERTY OWNER(S):

1708 OAK ST

CONWAY, SC 29526

I (we) the owner(s) do hereby certify that all information presented in this Zoning Map Amendment Application is correct.

James E. Eubanks, CEO
PROPERTY OWNER'S SIGNATURE(S)

3-10-2022
DATE

PROPERTY OWNER'S SIGNATURE(S)

DATE

THE APPLICANT OR A REPRESENTATIVE MUST BE PRESENT AT THE MEETING.



PLANNING DEPARTMENT

196 LAUREL STREET
CONWAY, SOUTH CAROLINA 29526
843-488-9888
WWW.CITYOFCONWAY.COM

DESIGNATION OF AGENT

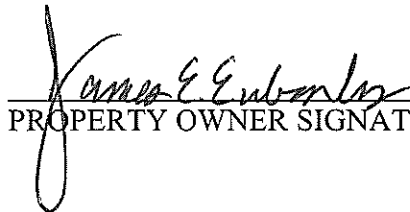
(If the Property Owner Wishes To Appoint an Agent to Represent Him or Herself)

Agents Name: G3 Engineering & Surveying
Address: 24 Commerce Drive, Pawleys Island, SC 29585
Telephone: 864-770-5996 Email: DElliott@G3Engineering.org

I hereby appoint the person(s) listed above as agent to act on my behalf for the purpose of filing such application for a variance as he/she shall deem necessary and proper.

Health Care Partners of SC, Inc

PROPERTY OWNER(S) NAME (PRINT)


PROPERTY OWNER SIGNATURE

3/11/2022

DATE

DATE: APRIL 18, 2022
ITEM: VI.E.

ISSUE:

Discussion of a request by Dollar General (G3 Engineering & Surveying, agents) to rezone 0.94 acres located at 1503 Fourth Ave (PIN 368-04-04-0064) from Commercial Core (CC) to Highway Commercial (HC).

BACKGROUND:

In March 2022, Dollar General applied for a building permit for their property located at 1503 Fourth Ave. The design included a parking lot between the primary structure and Fourth Ave. The design did not meet the Commercial Core (CC) district requirements, including placing parking in the rear of a primary structure, and having the primary structure sited within three feet (3') of the adjacent public street and sidewalk for ease of pedestrian access. Representatives for Dollar General inquired about rezoning their property and were informed that there was an additional lot between the Dollar General site and the nearest Highway Commercial zone. Dollar General then partnered with neighboring property owners, Health Care Partners of SC, Inc, and both applied to rezone their properties.

The intent of the CC District is to establish a thriving commercial and mixed-use district adjacent to the Central Business District that provides form and use of development compatible to that of the CBD, but not as strict with regards to design standards.

CITY OF CONWAY COMPREHENSIVE PLAN:

The Future Land Use map in the *Comprehensive Plan* identifies this parcel as Mixed Use, which is the same category for all properties currently zoned Commercial Core (CC). In the Future Land Use map, the Mixed Use/Commercial Core district connects the Downtown Historic District on the river/east side of Conway to the central Highway Commercial (HC) district that covers the major intersections of Fourth Ave/Hwy 701 and Wright Blvd/Hwy 378, as well as Fourth Ave/Hwy 701 and Church St/US 501.

The Future Land Use Strategies and Policy in the current *Comprehensive Plan* provides additional insight into why certain areas were proposed as mixed-use districts and others were proposed for highway commercial:

Mixed Use – This category will be applied to areas with different existing conditions:

- 1) areas where properties have buildings that may be underutilized or in danger of blighted conditions;
- 2) multiple vacant parcels that may serve to blend different uses;
- 3) areas where mixed use allowances would help establish a better land use pattern; [and]
- 4) Areas where mixed use allowances are appropriate due to adjacent development patterns.

Highway Commercial – This category provides a host of shopping and entertainment opportunities and is typically found on or near major highways.

RELATIONSHIP TO CITY POLICIES, PROJECTS, AND PUBLIC HEALTH/SAFETY

- *Overlay Zones*: none
- *Flood Zone*: X (NOT part of the Special Flood Hazard Area)
- *Public Street Access*: via Fourth Ave, Powell St, and Gasque Ave
- *Water/Sewer Access*: available to the site
- *Sidewalks*: already installed on Fourth Ave

STAFF RECOMMENDATION:

Staff does not support the rezoning for the following reasons:

1. The Comprehensive Plan envisions this property in a mixed use/core commercial zone, which is designed to increase walkability and to encourage development of underutilized or blighted properties (see *2035 Future Land Use Strategies and Policy*).
2. The proposed use can be built in the current zone.

PLANNING COMMISSION RECOMMENDATION:

The Planning Commission received input from the staff, the applicant, and the Chamber of Commerce. The Commission then unanimously recommended approval at their 4/7/22 meeting, and also recommended a re-evaluation of the Future Land Use map for the Fourth Ave corridor between Wright Blvd/Hwy 378 and Powell St (5-0). In their discussions, they cited the following:

1. They agreed with the applicant that the structure of Fourth Ave between Powell St and Wright Blvd is primarily an acceleration/ deceleration function to convey traffic from the downtown to Hwy 701/Wright Blvd and on to US 501. On-street parking, a staple of most of the Core Commercial area of Fourth Ave, is not allowed by DOT in an acceleration / deceleration zone.
2. They cited the multiple existing projects surrounding this property that are already developed with parking between the street and structure.
3. They proposed that staff re-evaluate the Core Commercial zoning along Fourth Ave between Wright Blvd/Hwy 378 and Powell St, from Fifth Ave to Gasque. They supported the idea that the Core Commercial/Mixed Use districts should stop at Powell St and convert to Highway Commercial between Powell and Wright Blvd/Hwy 378.

ATTACHMENTS:

Maps

Comprehensive Plan citations

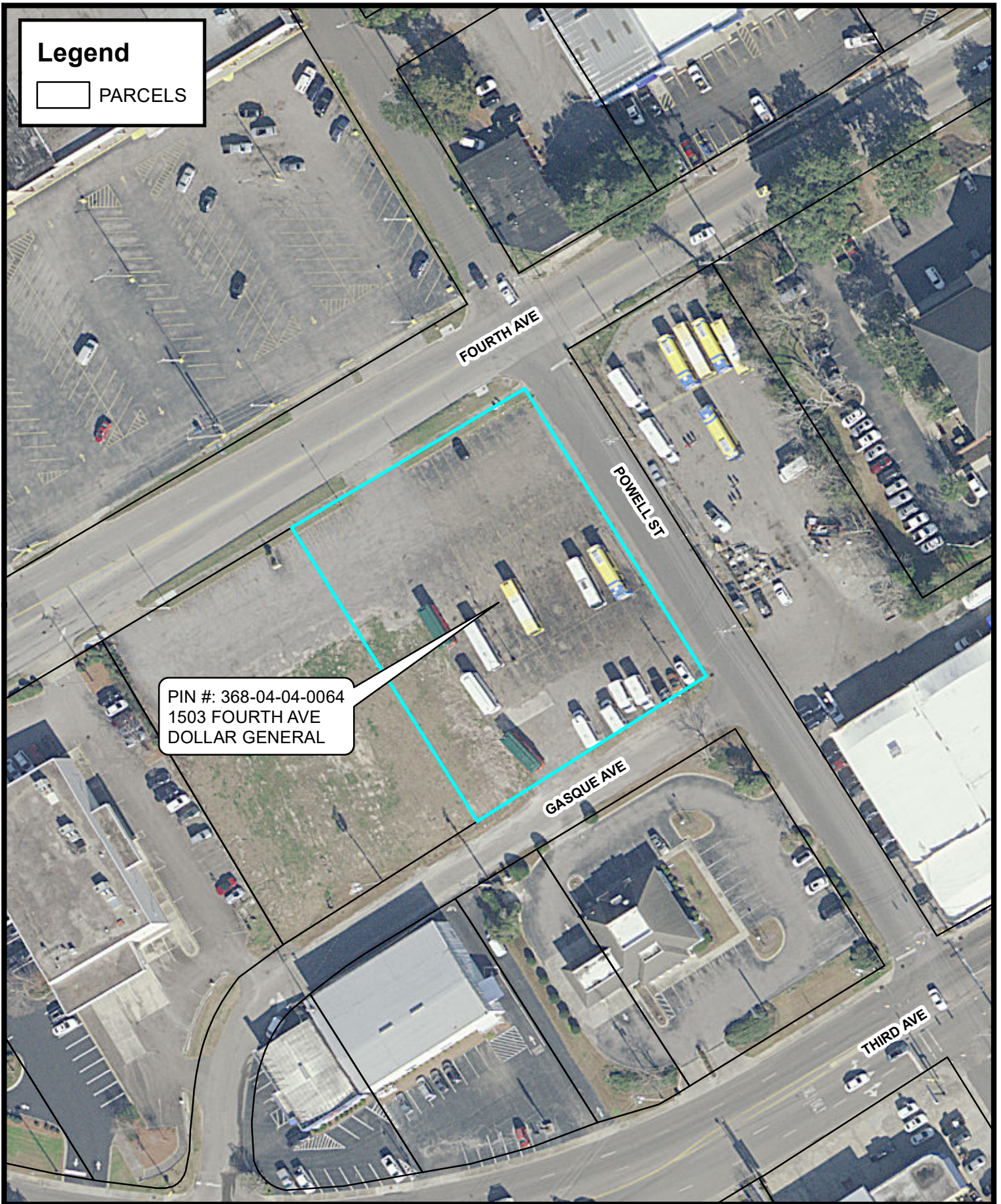
Table showing the difference in uses between CC and HC zones

Rezoning Application

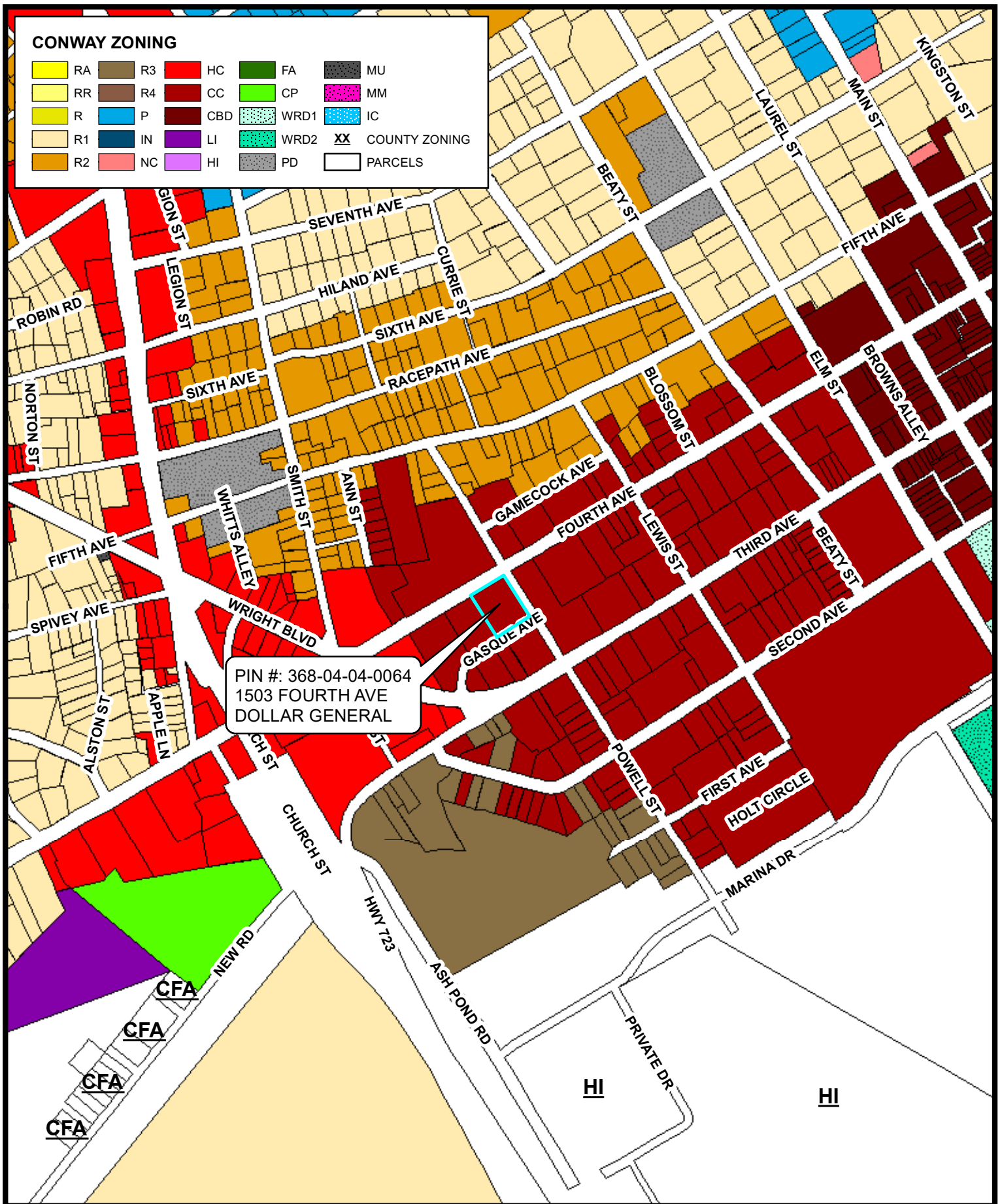


Legend

 PARCELS



PIN #: 368-04-04-0064
1503 FOURTH AVE
DOLLAR GENERAL



Legend

FUTURE LAND USE 2019-2029

FUTURE LAND USE

CONSERVATION PRESERVATION

DOWNTOWN HISTORIC DISTRICT

FOREST AGRICULTURE

HIGH DENSITY RESIDENTIAL

HIGHWAY COMMERCIAL

INDUSTRIAL

INSTITUTIONAL

LOW DENSITY RESIDENTIAL

MEDIUM DENSITY RESIDENTIAL

MIXED USE

NEIGHBORHOOD COMMERCIAL

PLANNED DISTRICT

PROFESSIONAL

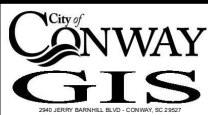
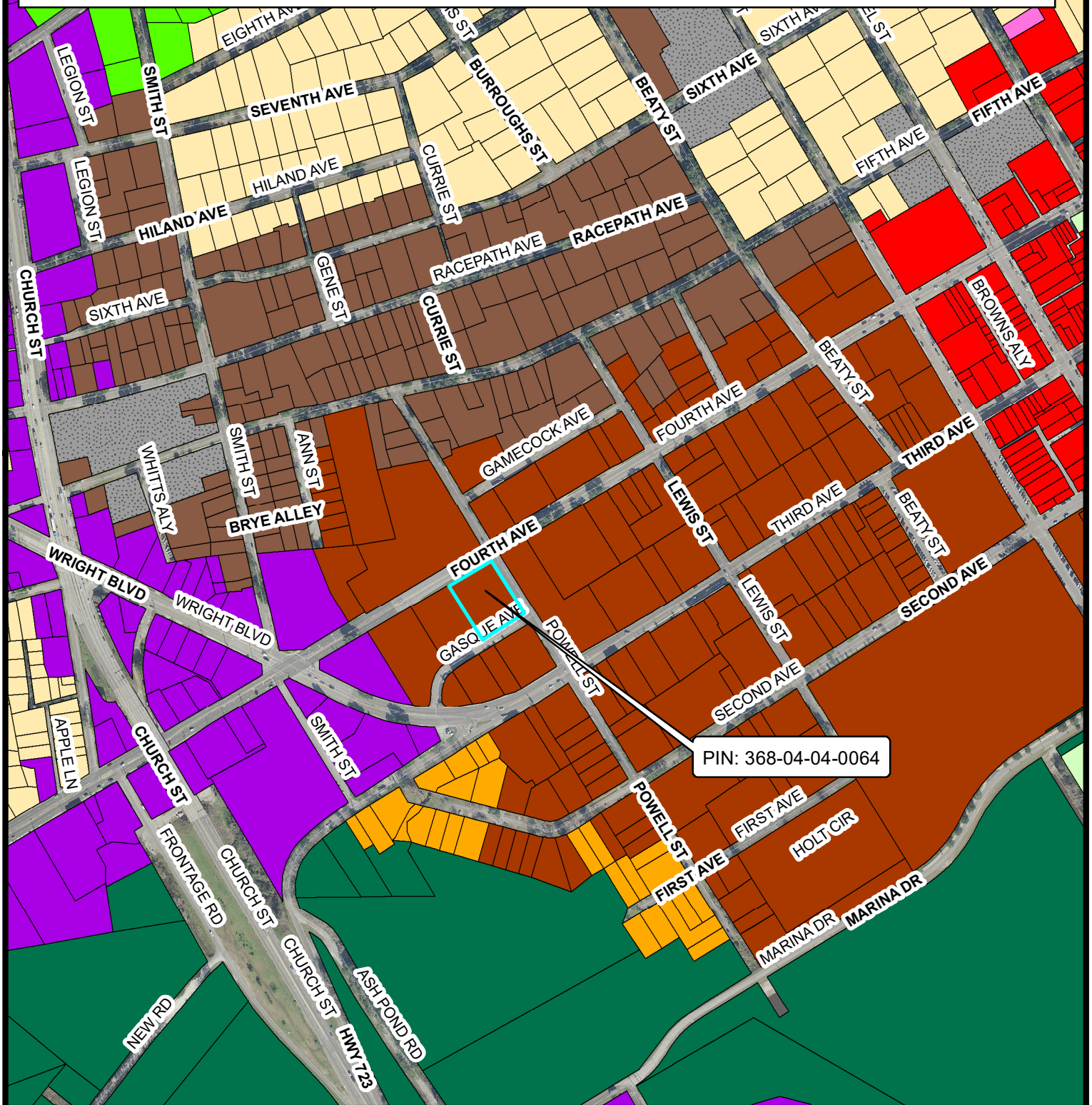
RECREATIONAL

RURAL RESIDENTIAL

UTILITY

Streets (Conway)

Horry County Roads



Disclaimer: This map is a graphic representation only. It is NOT a survey. All efforts have been made to ensure its accuracy. However, the City of Conway disclaims all responsibility & liability for the use of this map.



FUTURE LAND USE PLAN
PIN 368-04-04-0064
1503 FOURTH AVE



2035 FUTURE LAND USE STRATEGIES AND POLICY

Conway is a unique city in Horry County in that it offers residents an array of amenities including a vibrant downtown, pristine natural resources, modern recreational facilities, prominent educational institutions and a range of housing options. The overall goal of the future land use map is to provide a blueprint for growth that both enhances the quality of life for current Conway residents and accommodates future development. Through the land use categories outlined below, it is the intent of the City to protect established residential areas, focus commercial and industrial growth where there is appropriate infrastructure, preserve and enhance historical resources, and blend the transition areas between differing land uses through site design. It is also essential to ensure that future growth can be accommodated in an environmentally and fiscally responsible manner while preserving Conway's unique sense of place.

The future land use map addresses all property in the Conway Water and Sewer Service Area. Each area has been given a future land use classification based on the categories defined below:

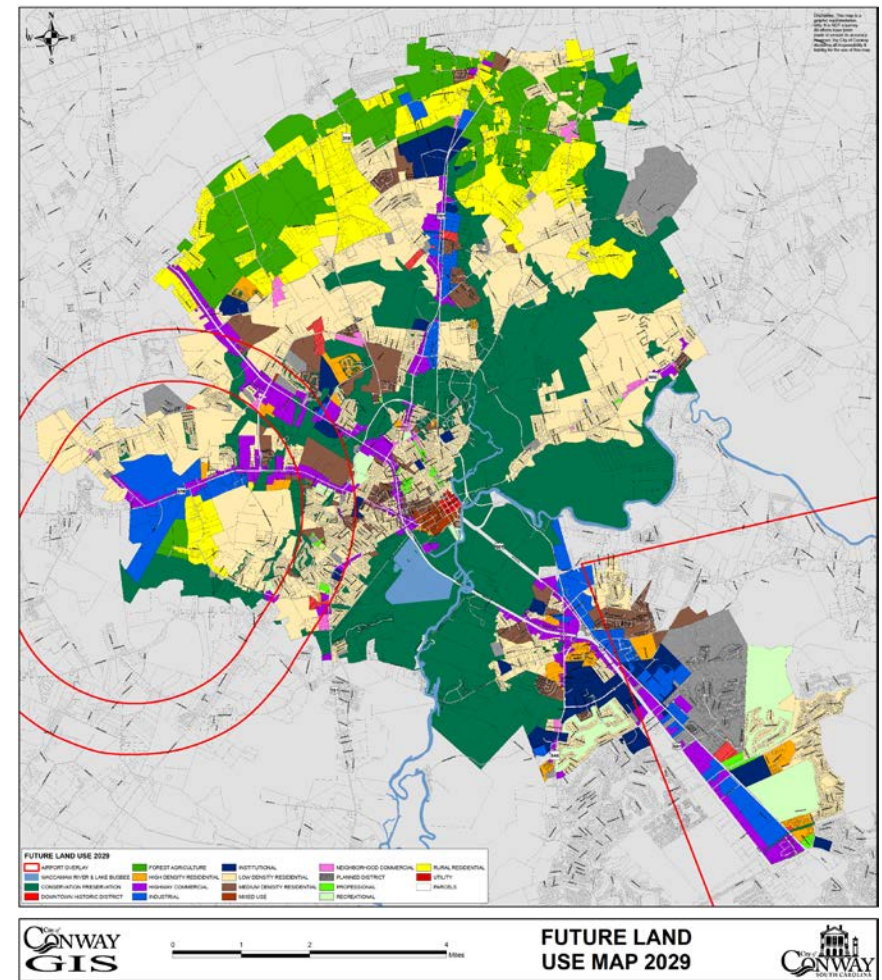
- ❑ Existing Residential – Conway has many established residential neighborhoods, which vary greatly in housing style, lot size and density. In those areas that have a clear and consistent development pattern, future building should reflect the land use and density that has already been established.
- ❑ Rural Residential – The Rural Residential category is applied to areas, which remain rural in nature with large parcels and are

nearer to the outer boundaries of the Service Area. These areas, if developed, are typically half acre lots or larger.

- ❑ Low Density Residential – Lot sizes for this category usually range from 7,500 to 20,000 square feet in size and are found throughout the Conway area.
- ❑ Medium Density Residential – Lot sizes are generally 6,000 to 7,500 square feet in size and are found throughout the Conway area.
- ❑ High Density Residential – Typically multi-family uses but may be small lot developments and are found throughout the Conway area.
- ❑ Conservation/Preservation – This category allows the least intense use of all categories due to its location, which in many cases, provides critical wildlife habitat or is in environmentally sensitive areas such as floodplains and wetlands. Most parcels are suitable for passive recreation and in some instances active recreation.
- ❑ Forest/Agriculture – This category is applied to rural areas suitable for agricultural use and timber harvesting.
- ❑ Recreational – This land use category is applied to parcels that are suitable for a variety of either passive or active recreation.
- ❑ Institutional – Institutional land use includes educational facilities, government buildings, libraries, and hospitals.
- ❑ Professional – The professional land use category is used for areas suitable for professional office development.
- ❑ Industrial – The industrial category is applied to large parcels near major highways, which may have rail service. Existing water and sewer service are important in locating industrial uses.

- ❑ Rural Commercial – This category is used to designate areas that define rural communities and provide convenient services. They many times are located at crossroads or intersections.
- ❑ Neighborhood Commercial – Commercial locations that provide or could provide convenient neighborhood shopping and do not disrupt adjacent residential uses.
- ❑ Highway Commercial – This category provides a host of shopping and entertainment opportunities and is typically found on or near major highways.
- ❑ Utilities and Services – This category includes but is not limited to sewer substations, electrical substations, major power lines rights of way, power plants, and fire towers.
- ❑ Mixed Use – This category will be applied to areas with different existing conditions: 1) areas where properties have buildings that may be underutilized or in danger of blighted conditions; 2) multiple vacant parcels that may serve to blend different uses; 3) areas where mixed use allowances would help establish a better land use pattern; 4) Areas where mixed use allowances are appropriate due to adjacent development patterns.
- ❑ Downtown Historic District(s) - This category is used to preserve centrally located businesses in the core area where historically the buildings are compact.

Map DRAFT City of Conway Future Land Use Map (2029)



FROM THE CITY OF CONWAY 2035 COMPREHENSIVE PLAN

USE COMPARISON BETWEEN
HIGHWAY COMMERCIAL and CORE COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
A. RESIDENTIAL USES	SPECIFIC USES	HC	CC	Applicable Standards
Residential Dwelling Types	Duplex two family dwelling			6.2.4
	Multi-Family		C	6.2.7
	Single-family detached			6.2.1
	Single-family attached		C	6.2.6
	Single-family semi-detached			6.2.5
B. ACCESSORY USES	SPECIFIC USES	HC	CC	Applicable Standards
Dwelling Uses	Accessory Dwelling			6.2.2, 6.3.8, 6.3.9
	Bed & Breakfast Home			5.1.4
	Commercial Short-Term Rental		C	5.1.5
Business	Home-based Occupation			5.2.4
Agricultural	Non-commercial agriculture/horticulture			
	Non-commercial keeping of fowl/livestock			5.2.5
	Greenhouse	P _a		5.1.30, 5.2.1
Other	Boat Dock			
C. CONSERVATION USES	SPECIFIC USES	HC	CC	Applicable Standards
	Conservation Area	P	P	
	Forest Management Area			
	Fishing	P	P	
	Hunting			5.1.15
	Cemetery	P		
	Passive Open Space	P	P	
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	Golf course (w/ lights)	P		
	Golf course (non-lighted)	P		
	Golf Driving Range	P		
	Gymnasiums	P		
	Outdoor Basketball Courts			
	Skating Rink	P		
	Swimming Facility Natatorium	P		5.2.8
	Tennis Facilities			
Other	Amenity Center			
	Miniature Golf	P		
E. AGRICULTURAL USES	SPECIFIC USES	HC	CC	Applicable Standards

USE COMPARISON BETWEEN
HIGHWAY COMMERCIAL and CORE COMMERCIAL

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	Stabling, Raising of Horse & Cattle			5.2.5
	Tree Farms & Silviculture			
	Agricultural Research			
	Nursery, Garden Center	C		5.1.30
F. CIVIC/ INSTITUTIONAL USES	SPECIFIC USES	HC	CC	Applicable Standards
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	Congregate Housing			
	Continuing Care Retirement Community			
	Group Home		C	5.1.14
	Nursing Home	P		
Day Care Facilities	Adult Day Care Services	C	C	5.1.7
	Day Care Facilities for Adults	C	C	5.1.7
	After School Program			5.1.7
	Child Day Care Facility	C	C	5.1.7
	Family Day Care Home			5.1.7
Community Support Services	Community Support Facility	C	C	5.1.32
	Outpatient Treatment Facility			5.1.32
Other Care Facilities	Funeral Home, Mortuary	C	C	5.1.12
	Hospital	P		
Assembly	Assembly Hall			
	Banquet Hall		P	5.1.3; 6.3.6
	Civic Club	P	P	
	Religious Institution	C	C	5.1.22; 6.3.6
Public Safety	Fire and Police Station	P	P	
Educational	Educational Facility	P	P	5.1.9
	Library	P	P	
	Museum	P	P	
	Vocational, Trade School	P	Pa ⁶	
G. PROFESSIONAL SERVICES	SPECIFIC USES	HC	CC	Applicable Standards
Business Office	Accounting Firm, Bookkeeper's Office	P	P	
	Administration Office	P	P	
	Advertising Agency	P	P	
	Architect's or Land Development Office	P	P	
	Brokerage Firm	P	P	
	Consulting Firm	P	P	
	Employment Agency	P	P	
	Engineering or Surveying	P	P	
	Financial Institution	P	P	
	Insurance Sales	P	P	

USE COMPARISON BETWEEN
HIGHWAY COMMERCIAL and CORE COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
	Law Firm/Attorney Office	P	P	
	Real Estate Office	P	P	
	Secretarial Service	P	P	
	Travel Agency	P	P	
Medical/Clinical	Chiropractor	P	P	
	Clinics (not to include outpatient treatment facilities)	P	P	
	Counseling Service	P	P	
	Dentist / Orthodontist / Oral Surgeon	P	P	
	Doctor's Office	P	P	
Other	Charitable Institution (office)	P	P	
	Government Office	P	P	
	Religious Institution Office (no assembly)	P	P	
H. NEIGHBORHOOD COMMERCIAL	SPECIFIC USES	HC	CC	Applicable Standards
Personal Services	Barber Shops/Beauty Shop	P	P	
	Clothing Alterations, Tailor/Seamstress	P	P	
	Dance/Fitness Studio	P	P	
	Dry cleaner (no drive-thru)	P	P	
	Dry cleaner (with drive- thru)	C	C	5.1.8
	Hair or Nail Salon	P	P	
	Laundromat	P	P	
	Pharmacy	P	P	
	Shoe Repair	P	P	
	Tanning Salon	P	P	
	Doggie Daycare/Spa	C		5.1.31
Food & Convenience Stores	Bakery	P	P	
	Wholesale Bakery			
	Butcher Shop	P		
	Candy Store/Confectionary	P	P	
	Convenience Store	P	P	
	Fruit & Nut Store	P	P	
	Grocery Store	P	P	5.1.13
	Health, Nutrition Food Store, Vitamin Store	P	P	
	Ice Cream Shop	P	P	
	News Stand	P	P	
	Produce Stand	P	C	5.1.20
	Wholesale Produce			
	Specialty Food Store	P	P	
Dining	Bars, Tavern, Nightclub	P	P	5.1.25
	Teen Club, Teen Dance Club	P	P	5.1.25
	Café & Coffee Shop	P	P	

USE COMPARISON BETWEEN
HIGHWAY COMMERCIAL and CORE COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
Dining	Restaurant (no drive-thru)	P	P	
	Sidewalk Café and Outdoor Dining	C	C	5.1.23
	Parklet			5.1.23
Clothing	Bridal, Formal Wear Shop	P	P	
	Clothing Store, Specialty Shop	P	P	
Artists & Craftsmen's Stores	Antique Store	P	P	
	Artists' Studio & Gallery	P	P	
	Frame Shop	P	P	
	Gift Shop	P	P	
	Hobby/Craft Shop	P	P	
	Photography Sale & Studio, Film Developing	P	P	
Specialty Retail	Bookstore	P	P	
	Tobacco Shop	P	P	
	Florist	P	P	
	Wholesale Florist			
	Hardware Store	P	P	
	Musical Instrument Sales & Repair	P	P	
	Pet Supply, Pet Grooming	P	P	
	Music Store	P	P	
	Stationary Shop	P	P	
Other	ATM Bank Machine	P _a	P _a	
	Gas & Service Station	P	P	
	Optical & Hearing Center	P	P	
Retail & Service	Appliance Sales & Service	P	P	
	Big Box Retail Store, Department Store	P		
	Boat Sales	P		
	Boat Service	P		
	Computer Sales & Service	P	P	
	Copying Center, Print Shops	P	P	
	Discount Store	P	P	
	Fabric Shop	P	P	
	Furniture Repair & Upholstery	P	P	
	Furniture Store & Showroom	P	P	
	Jeweler	P	P	
	Leather Shop	P	P	
	Package Store, Liquor Stores	P	P	
	Shoe Store	P	P	
	Shopping Center	P		
	Sign Shop	P	P	
I. HIGHWAY COMMERCIAL	SPECIFIC USES	HC	CC	Applicable Standards
	Auto Accessory Store	P	P	
	Automobile Dealership	P	P	

USE COMPARISON BETWEEN
HIGHWAY COMMERCIAL and CORE COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
Auto-Oriented Uses	Car Wash & Detailing	C		5.1.6
	Rental Car Agency	P		
	Truck & Auto Repair Service	P		
Supply & Wholesale	Building Supply, Equipment Sales	P		
	Office Supply Store	P	P	
	Paint, Wallpaper, Flooring Supply & Sales	P	P	
Entertainment Venues	Arcades, Billiard	P	P _a	
	Bingo Establishment	P		
	Bowling Alley	P		
	Multiplex Movie Theater	P		
	Drive-In Movie Theater			
	Amphitheaters			5.1.34
	Theater	P	P	
Other	Farmers' Market	C	C	5.1.10
	Fitness Center, Athletic Club	P	P	
	Hotel, Motel, Inn	P	P	
	Restaurant w/ Drive-thru	P		
I. HIGHWAY COMMERCIAL	SPECIFIC USES	HC	CC	Applicable Standards
Restricted Uses	Adult-Oriented Establishment			5.1.1
	Armory	P		5.1.18
	Bail Bonds Establishment			5.1.2
	Body Piercing Shop	C	C	5.1.24
	Drive-in Movie Theater	C		
	Flea Market	C		5.1.11
	Manufactured and Modular Home Sales			5.4.1, 5.1.18
	Mobile Vending	C	C	5.1.16
	Pawn Shop	P		5.1.18
	Portable Storage Unit	C	C	5.2.7
	Private Club	C		
	Mini Storage Unit (Mini Storage Warehouse)	C		5.1.18, 5.1.29
	Sporting Goods	P	P	
	Tattoo Parlor			5.1.24
	Veterinarian/Animal Clinic	C		5.1.18, 5.1.28
J. LIGHT INDUSTRIAL	SPECIFIC USES	HC	CC	Applicable Standards
Research/ Science	Research Facility			5.1.18
	Science Laboratory			5.1.18
Light Industrial	Custom Manufacturing	C	P _a ¹	5.1.18
	High Technology Industry			5.1.18
	Limited Industrial			5.1.18
	Microbrewery	P _a	P _a	5.1.18
	Building Supply Lumber Yard	C		5.1.18

USE COMPARISON BETWEEN
HIGHWAY COMMERCIAL and CORE COMMERCIAL

<i>Types of Uses</i>	<i>Specific Uses</i>			<i>Standards per Use</i>
Light Storage/ Distribution	Warehousing	C		5.1.18
	Wholesaling, Storage & Distribution (Light)			5.1.18
K. HEAVY MANUFACTURING & DISTRIBUTION	SPECIFIC USES	HC	CC	Applicable Standards
Production & Processing	Agricultural Processing			5.1.18
	Alternative Energy Production			5.1.18
	Heavy Industrial			5.1.18
	Manufacturing, Processing			5.1.18
	Meat Processing	C		5.1.18
	Mining or Well-drilling			5.1.18, 6.4.4
Distribution & Storage	Container Switchyard & Container Storage			5.1.18
	Truck & Railroad Terminal			5.1.18
	Wholesaling, Storage & Distribution (Heavy)			5.1.18
L. PUBLIC INFRASTRUCTURE	SPECIFIC USES	HC	CC	Applicable Standards
Transportation	Airfield, Airport	P		
	Bus, train, or taxi lot and facility	P	P	5.1.18
	Parking Deck	C	C	
	Passenger Facility (transit stop, station)	P	P	5.1.26
	Parking Lot	C	C	5.1.33
Utilities	Cellular/Wireless Communication Tower			5.1.27
	Public Utility Facility	C	C	5.1.21
Other	Recycling Center			5.1.18
	Marinas (public and private)			



Zoning Map Amendment Application

Incomplete applications will not be accepted.

Staff Use Only

Received: _____
BS&A #: _____

City of Conway Planning Department
206 Laurel Street, 29526

Phone: (843) 488-9888
Conway, South Carolina

FAX: (843) 488-9890
www.cityofconway.com

Notice

All zoning map amendments shall follow the procedures set forth in Section 13.1.7 of the City of Conway Unified Development Ordinance. Amendments to the Official Zoning Map shall be initiated by members of City Council, the Planning Commission, the Planning Director, or owner(s) of the subject property. In order to partially defray the administrative cost of zoning map amendments, the applicant shall pay a filing fee to the City of Conway in the amount of \$250.00 at the time this application is submitted. Planned Development rezonings are \$2,500.00 and Planned Development Amendments are \$500.00, and due at the time of submission. R-1 rezoning requests will not be charged a fee. A plat of the property to be rezoned may be required with this application.

PHYSICAL ADDRESS OF PROPERTY: 1503 Fourth Ave FEE PAID ☐ YES ☐ NO

AREA OF SUBJECT PROPERTY (ACREAGE): 0.94 AC PIN: 36804040064

CURRENT ZONING CLASSIFICATION: CC

COMPREHENSIVE PLAN 2035 FUTURE LAND USE: Mixed Use

REQUESTED ZONING CLASSIFICATION: HC

NAME OF PROPERTY OWNER(S):

CONWAY 701 DG, LLC PHONE # _____

PHONE # _____

MAILING ADDRESS OF PROPERTY OWNER(S):

PO BOX 10325

GREENSBORO, NC 27404

I (we) the owner(s) do hereby certify that all information presented in this Zoning Map Amendment Application is correct.

[Signature]
PROPERTY OWNER'S SIGNATURE(S)

3/9/22
DATE

PROPERTY OWNER'S SIGNATURE(S)

DATE

THE APPLICANT OR A REPRESENTATIVE MUST BE PRESENT AT THE MEETING.



PLANNING DEPARTMENT

196 LAUREL STREET
CONWAY, SOUTH CAROLINA 29526
843-488-9888
WWW.CITYOFCONWAY.COM

DESIGNATION OF AGENT

(If the Property Owner Wishes To Appoint an Agent to Represent Him or Herself)

Agents Name: David Elliott and/or David Gantt of G3 Engineering

Address: 24 Commerce Drive, Pawleys Island, SC 29585

Telephone: 864-770-5996 Email: delliott@g3engineering.org

I hereby appoint the person(s) listed above as agent to act on my behalf for the purpose of filing such application for a variance as he/she shall deem necessary and proper.

Conway 701 DG, LLC

PROPERTY OWNER(S) NAME (PRINT)


PROPERTY OWNER SIGNATURE

3/11/22

DATE

DATE: APRIL 18, 2022

ITEM: VI.F

ISSUE:

Discussion of a proposal to amend *Article 6 – Design Standards*, *Article 7 – Streets and Circulation*, *Article 9 – Landscaping and Buffer Requirements*, and *Article 10 – Subdivision and Land Development*, regarding development and design standards for single-family and multifamily developments.

BACKGROUND:

Due to concern with the quality of small lot subdivisions, City Council asked staff in 2019 to consider the addition of design standards for residential subdivisions. The issues were discussed at multiple Planning & Development Committee Meetings and Council Meetings. Staff recommended several options, including adding design standards to current residential districts, creation of a new zoning district, or amending the current Conservation Subdivision Ordinance. Council directed staff to conduct a visual preference survey and this survey was released to Council, City staff, and the public. The results showed that each group preferred foundation landscaping, full front porches, hardi-plank with brick, crawlspace/elevated slab, side garages, roads with sidewalks but no curb/gutter, 20' street width, and large planting strips for street trees.

Based on the results of the visual preference survey and discussions at Council Workshops, staff drafted a text amendment for Planning Commission's consideration at their November, 2019 regular meeting. At the recommendation of Planning Commission, a Residential Design Standards Committee was formed, which included members of the development community, real estate community, architects, contractors, and Planning Commission. The committee met twice in December, 2019 and twice in January, 2020. Additionally, staff developed an online survey for committee members to complete and provide their input on all of the amendments proposed. The results of the survey were included in the packet for the March 5th PC meeting.

Items considered by the committee included (but are not limited to) amendments to design standards for single family and multifamily developments, street tree requirements, traffic calming measures, vehicle storage, license plate readers, HOA requirements and cluster mailbox standards; some of which were broken up into a separate text amendment and includes items that staff considered to be outdated or inconsistent throughout the UDO. This amendment considers items that are development and design-standard related for single-family and multi-family development, and reflects the general consensus of the Residential Design Standards Committee. The proposed amendments are not meant to include all suggestions from previous discussions and may not solve all of the concerns that have been previously expressed; however, they are a first step in addressing higher quality housing.

Planning Commission reviewed the proposed amendments at their March 5, 2020 and June 4, 2020 meetings, and unanimously approved the amendments, as attached herein.

This amendment was also discussed at the July 20, 2020 Council meeting, where there were concerns regarding the enforcement of façade materials and distinguishing between types of vinyl. Staff has revised the language regarding façade materials to address this concern.

ORDINANCE #ZA2022_____

AMENDING ARTICLE 6, ARTICLE 7, ARTICLE 9 AND ARTICLE 10 OF THE *CITY OF CONWAY UNIFIED DEVELOPMENT ORDINANCE (UDO)* RELATIVE TO DEVELOPMENT AND DESIGN STANDARDS FOR SINGLE-FAMILY AND MULTI-FAMILY DEVELOPMENTS.

WHEREAS, pursuant to Title 6, Chapter 29 of the Code of Laws of South Carolina 1976, as Amended known as the “South Carolina Local Government Comprehensive Planning Enabling Act of 1994” enabled the City of Conway to adopt the *Unified Development Ordinance (UDO)* of the City of Conway, South Carolina; and

WHEREAS, Article 13, Section 13.1.7 of the *UDO* provides that the regulations, restrictions, and boundaries set forth in said Ordinance may from time be amended, supplemented, changed, or repealed in accordance with S.C. State Code 6-29-760; and

WHEREAS, due to concerns with the quality of small lot subdivisions; and

WHEREAS, based on the results of discussions of Council and a visual preference survey completed by residents of Conway, which showed preferences for foundation landscaping, full front porches, crawlspace/elevated slabs, side load garages, roads with sidewalks, higher quality siding, and larger planting strips for street trees; and

WHEREAS, based on recommendations of the Residential Design Standards Committee to include additional design and development standards for single-family and multi-family developments in certain zoning districts; and

WHEREAS, the proposed amendment(s) would consider items that are development and design standard-related for single-family and multi-family development, including, but not limited to, garage location, façade material, sidewalks, block diversity, density requirements for multi-family development, and street tree / landscaping requirements, and reflects the general consensus of the Residential Design Standards Committee, and

WHEREAS, following a review by the Planning Commission and the required public hearing conducted by Council, it has been determined that the *UDO* should be amended relative to development and design standards for single-family and multi-family developments: Therefore be it

ORDAINED, by Conway City Council, in council duly assembled, that the *UDO* be shall be amended as attached hereto; and be it further

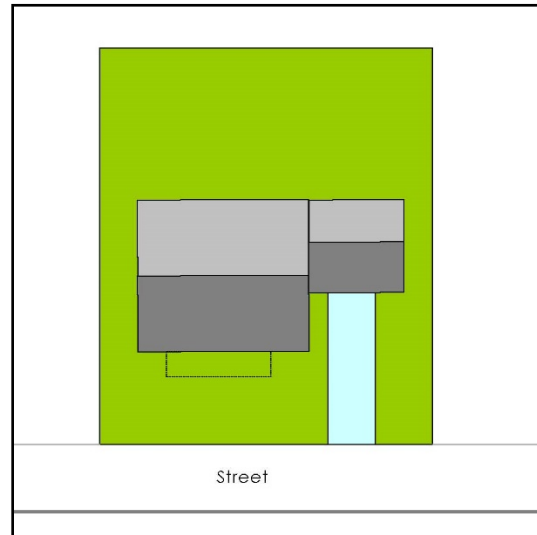
ORDAINED, that all ordinances or parts of ordinances inconsistent with this Ordinance are hereby repealed to the extent of such inconsistency.

EFFECTIVE DATE: This ordinance shall become effective upon final reading approval.

6.2.1 Single-Family Residential Detached Building

A. Dimensional Requirements

1. Minimum Lot Size. The minimum lot size for each zoning district can be found in Table 6.1 or Table 6.2.
2. Setbacks. The front, side, and rear yard setbacks shall adhere to the requirements set forth in Table 6.1 or Table 6.2.
 - a. Each lot shall front on a public street.



B. General Design Standards

1. Newly constructed garages and/or carports shall have a mix of orientations within the development. Such orientations may include, but are not limited to, the following: garages / attached carports be 3-feet behind the primary residential structure, side load garage, garage flush with the house.
2. On all R-1, R-2, or R-3 zoned single family developments, the following materials are permitted on the façade:
 - a. Brick, fiber-cement, hardi-plank, stone, vinyl siding, or equivalent quality material as approved by the Planning Director, or their designee. A combination of these materials may also be used.
 - i. **When vinyl siding is proposed to be used on the front facade, a combination of no less than two (2) types of materials, as described above, shall be required.**
 - b. Additions to existing single-family structures with nonconforming exterior surfaces may be allowed to continue the nonconformity with the approval of the Planning Director, or their designee.
3. A sidewalk shall be installed connecting the front door to the street-front sidewalk or driveway.
4. A minimum overhang/eave of 12" shall be required on all sides of all new single-family construction.
5. Block Diversity
 - a. A variety of housing styles shall be required in all new residential subdivisions.
 - b. No same building elevation or mirrored building elevation shall be located on either side nor across the street from itself.
 - c. A block diversity plan illustrating all lots and building elevation location(s) shall be submitted to the Planning Department prior to any building permits for housing construction being issued.
 - d. Any building not conforming to this ordinance shall not be eligible for a zoning appeal after constructed.

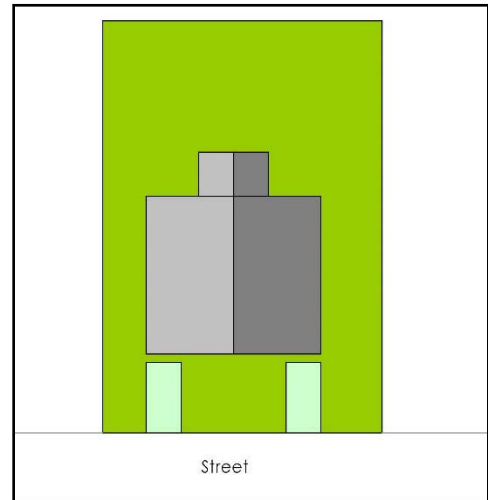
6. Where shingles are proposed to be installed on all residential construction, architectural shingles shall be used. Three-tab shingles are prohibited.

6.2.4 Two-Family Dwelling Unit

Property containing a two-family dwelling (one building structure with a shared wall on one property) is subject to all applicable building codes and requirements of the Conway Unified Development Ordinance.

A. Dimensional Requirements

1. Minimum Lot Size. The minimum lot size shall adhere to the requirements set forth in each zoning district in Table 6.1 and Table 6.2.
2. Setbacks. The front, side, and rear yard setbacks shall adhere to the requirements set forth in Table 6.1 or Table 6.2.
 - a. Each lot shall front on a public street.



B. General Design Standards

1. Newly constructed garages and/or carports shall have a mix of orientations within the development. Such orientations may include, but are not limited to, the following: garages / attached carports be three (3) feet behind the primary residential structure, side load garage, garage flush with the house.
2. On all R-1, R-2, or R-3 zoned single family developments, the following materials are permitted on the façade:
 - a. Brick, fiber-cement, hardi-plank, stone, vinyl siding, or equivalent quality material as approved by the Planning Director, or their designee. A combination of these materials may also be used.
 - i. **When vinyl siding is proposed to be used on the front façade, a combination of no less than two (2) types of materials, as described above, shall be required.**
 - b. Additions to existing single-family structures with nonconforming exterior surfaces may be allowed to continue the nonconformity with the approval of the Planning Director, or their designee.
3. A sidewalk shall be installed connecting the front door to the street-front sidewalk or driveway.
4. A minimum overhang/eave of 12" shall be required on all sides of all new single-family construction.
5. Block Diversity
 - a. A variety of housing styles shall be required in all new residential subdivisions.
 - b. No same building elevation or mirrored building elevation shall be located on either side nor across the street from itself.

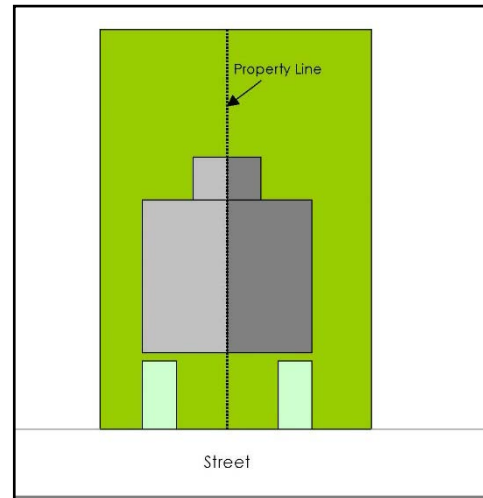
- c. A block diversity plan illustrating all lots and building elevation location(s) shall be submitted to the Planning Department prior to any building permits for housing construction being issued.
 - d. Any building not conforming to this ordinance shall not be eligible for a zoning appeal after constructed.
6. Where shingles are proposed to be installed on all residential construction, architectural shingles shall be used. Three-tab shingles are prohibited.

6.2.5. Single-Family Semi-Detached Dwellings

A property containing a semi-detached dwelling (duplex) may be subdivided in a manner so that each dwelling unit is located on its own lot, with zero lot line in between the units. This will be subject to compliance with applicable building codes of the City of Conway.

A. Dimensional Requirements

1. Minimum Lot Size. The minimum lot size for each zoning district where semi-detached dwellings are allowed can be found in Table 6.1.
2. Setbacks. The front, side, and rear yard setbacks shall adhere to the requirements set forth in Table 6.1 or Table 6.2.
 - a. Each unit shall have one side yard with no minimum required setback (two units shall share one common vertical wall which shall be the property line) and one side yard with a minimum seven and one half (7.5) foot setback.
 - b. Each lot shall front on a public street.



B. General Design Standards

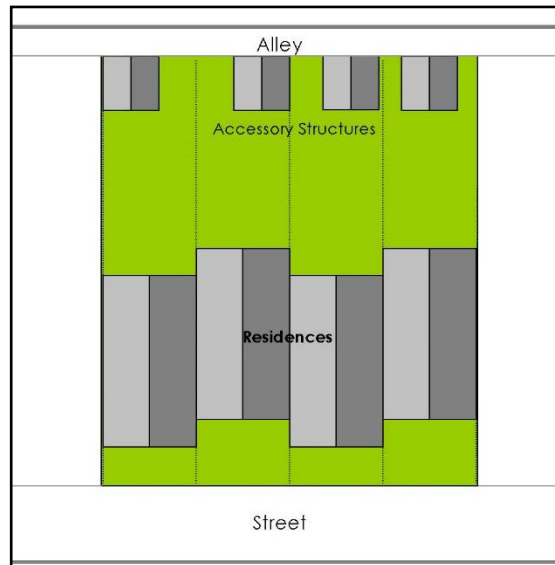
1. Newly constructed garages and/or carports shall have a mix of orientations within the development. Such orientations may include, but are not limited to, the following: garages / attached carports be three (3) feet behind the primary residential structure, side load garage, garage flush with the house.
2. On all R-1, R-2, or R-3 zoned single family developments, the following materials are permitted on the façade:
 - a. Brick, fiber-cement, hardi-plank, stone, vinyl siding, or equivalent quality material as approved by the Planning Director, or their designee. A combination of these materials may also be used.
 - i. **When vinyl siding is proposed to be used on the front façade, a combination of no less than two (2) types of materials, as described above, shall be required.**
 - b. Additions to existing single-family structures with nonconforming exterior surfaces may be allowed to continue the nonconformity with the approval of the Planning Director, or their designee.

3. A sidewalk shall be installed connecting the front door to the street-front sidewalk or driveway.
4. A minimum overhang/eave of 12" shall be required on all sides of all new single-family construction.
5. Block Diversity
 - a. A variety of housing styles shall be required in all new residential subdivisions.
 - b. No same building elevation or mirrored building elevation shall be located on either side nor across the street from itself.
 - c. A block diversity plan illustrating all lots and building elevation location(s) shall be submitted to the Planning Department prior to any building permits for housing construction being issued.
 - d. Any building not conforming to this ordinance shall not be eligible for a zoning appeal after constructed.
6. Where shingles are proposed to be installed on all residential construction, architectural shingles shall be used. Three-tab shingles are prohibited.

6.2.6 Single-Family Attached (Townhouse)

A. Dimensional Requirements

1. Setbacks. The front, side, and rear yard setbacks shall adhere to the requirements set forth in Table 6.1. or Table 6.2. A side yard of zero shall be allowed on the side of attachment to an adjoining townhouse.
2. Number of Units. No fewer than three (3) contiguous dwellings shall be built in a row. A maximum of eight (8) dwelling units may be allowed in one structure or building.



B. General Design Standards

1. The property boundaries for such lots created may extend beyond the footprint of the dwelling structure.
2. All common driveways, parking areas, open space, or other amenities shall have provisions for perpetual maintenance by the participating property owners.
3. A pathway system connecting greenway/open space areas accessible to neighborhood residents, and connecting these areas to neighborhood streets and sidewalks shall be constructed.
4. Two (2) parking spaces shall be provided for each unit. The title of such parking spaces and/or the easement for the use of such parking spaces shall run with and/or be appurtenant to the title to such dwelling.

C. Architectural Design Standards

1. Buildings shall be constructed of materials consistent with characteristics of the neighborhood, including but not limited to brick, stone, wood, vinyl siding, fiber cement siding, and hardi-plank shake/shingle. The primary material on the front elevation shall also be used on the side and rear elevations. There shall be a combination of no less than two (2) of the above listed materials on each façade of the building.
2. All units with front-loaded garages shall have garage faces with decorative design treatments to minimize their appearances. Garages for units/buildings located on rear alleys shall be located to the rear of the unit and accessed via alley only.
3. A four-foot (4') wide walkway, constructed of concrete or decorative pavers, shall extend from the sidewalk to the steps, stoop, or porch of all units.
4. ~~All front doors must have either a glass element in the door or sidelights and a transom surrounding it.~~
5. ~~Columns on the front elevation or otherwise visible from the public view shall have a minimum two foot (2') base constructed of brick or stone to match the front elevation.~~
6. Chimneys located on an exterior elevation of the dwelling must extend to the ground and be clad in masonry or same as adjacent materials.
7. Where shingles are proposed to be installed on all residential construction, architectural shingles shall be used. Three-tab shingles are prohibited.

6.2.7 Multi-Family Residential

A. Dimensional Requirements

1. Setbacks. The front, side, and rear yard setbacks shall adhere to the requirements set forth in Table 6.1. In addition to adhering to setback requirements, each structure shall be a minimum of fifteen (15) feet from any other structure situated on the same lot.
2. Lot Size. ~~In the R-2 district, the first unit on each lot shall require a minimum of six thousand (6,000) of gross lot area square feet and each additional unit shall require two thousand five hundred (2,500) square feet of gross lot area. In the R-3 district, the first unit on each lot shall require a minimum of five thousand (5,000) of gross lot area square feet and each additional unit shall require two thousand five hundred (2,500) square feet of gross lot area.~~

Density. The density of the development of multi-family shall be determined by the parking requirements, open space limitations, yard requirements, height limitations in the area of construction and other factors set forth in the UDO.

B. Design Standards

1. All common driveways, parking areas, open space, or other amenities shall have provisions for perpetual maintenance by the participating property owners.
2. A pathway system connecting greenway/open space areas accessible to neighborhood residents, and connecting these areas to neighborhood streets and sidewalks shall be constructed.

3. Open space standards as set forth in Section 10.3.9 shall apply. The required open space for any multi-family development shall be calculated as follows: the number of units proposed in the development multiplied by the average household size according to the latest decennial Census, multiplied by .008, the recommended amount of open space per person from the National Park Service. (# of units X avg. household size X .008). All open space shall be installed prior to any certificate of occupancy approval and shall be "suitable open space" as set forth in Section 10.3.9.
4. For buildings with road frontage, the buildings shall be forward of any parking structures and made to face the street front. Sidewalks shall connect all entrances to the street front sidewalk network. For streets without sidewalks, sidewalks shall be installed along the entire frontage as a condition of development.
5. Buildings shall be constructed of materials consistent with characteristics of the neighborhood. Fiber cement, brick, vinyl siding, hardi-plank shake/shingle or an equivalent quality material as approved by the Planning Director (or their designee) is required on all exterior surfaces of all structures within the development including accessory structures.
 - a. The primary material on the front elevation shall also be used on the side and rear elevations. There shall be a combination of no less than two (2) of the above listed materials on each façade of the building.
6. Chimneys located on an exterior elevation of the dwelling must extend to the ground and be clad in masonry or same as adjacent materials.
7. Where shingles are proposed to be installed on all residential construction, architectural shingles shall be used. Three-tab shingles are prohibited.
8. Landscaping for surface parking facilities for multi-family developments shall include one canopy tree for every 5 parking spaces.

C. ~~Architectural Design Standards~~

- ~~1. Buildings shall be constructed of materials consistent with characteristics of the neighborhood, including but not limited to brick, stone, wood, vinyl siding, fiber cement siding, and masonry hardi plank shakes/shingles. The primary material on the front elevation shall also be used on the side and rear elevations. There shall be a combination of no less than two (2) of the above listed materials on each façade of the building.~~
- ~~2. Columns on the front elevation or otherwise visible from the public view shall have a minimum two-foot (2') base constructed of brick or stone to match the front elevation.~~
- ~~3. Chimneys located on an exterior elevation of the dwelling must extend to the ground and be clad in masonry or same as adjacent materials.~~

7.1.1 Layout of Circulation System

- A. Proposed street layouts within the city limits shall interconnect within a development and with adjoining development as often as possible. No dead-end streets shall be permitted, except those classified as an alley or cul-de-sac (see Section 7.1.3).
- B. While it is the intent to provide ample flexibility in the layout of streets, proposed street systems will be reviewed in terms of design, safety, and convenience of users as well

as adjacent property owners. Review shall be conducted in accordance with reasonable street design standards and with generally accepted engineering and development practices. Emphasis shall be placed on safety at curves and intersections.

- C. The layout of the circulation system shall be designed to provide access and to accommodate vehicular traffic, pedestrian and bicycle mobility, and transit when appropriate. The layout of circulation shall be efficient with a minimum impact on adjacent properties, while providing an aesthetically pleasing design.
- D. The layout of the circulation system shall be adapted to the site, taking into consideration physical factors such as natural elements, grade and drainage, as well as aesthetic factors such as the visual impact of the street pattern and the highlighting of special site features. Cul-de-sacs shall be allowed only where topographical and/or lot line configurations offer no practical alternatives for connections or through traffic.
- E. Pathways may also be designed to be independent of the road system, but they may be required along roads in areas of high intensity of land use, provided there is some physical separation from the edge of street pavement, such as curbs or green strips.
- F. For any development of more than 150 proposed lots, the Technical Review Committee (TRC) may require additional traffic calming measures, including, but not limited to, additional stop signs, painted yellow lines, speed humps, traffic circles, chicanes, etc., as specified in Section 7.3.

7.1.2 Complete Streets

C. Pathways.

- 1. Pathways shall be constructed connecting all designated open space within the community. The TRC has the discretion to allow modifications to this requirement. All open space shall be connected to the sidewalk network by Pathways.
- 2. Design Requirements for Pathways.
 - a. Dimensions and construction specifications of pathways shall be determined by the location and the number and type of users.
 - b. Pathways may meander between the curb and right-of-way line where necessary to preserve topographical or natural features or to provide visual interest, provided a grassed or landscaped area at least three (3) feet wide is retained to separate the pathway from the adjacent curb.
 - c. A minimum eight (8) foot paved width shall be provided for both two-way bicycle traffic and pedestrians.
 - d. Choice of surface materials, including but not limited to bituminous mixes, concrete, gravel, soil, cement, stabilized earth, and wood planking, shall depend on use and users of the path, as approved by the Technical Review Committee.

- e. Gradients of bike paths should generally not exceed a grade of five percent (5%), except for short distances.
- f. Pathways shall comply with the most current ADA standards.

3. Pathway Designation.

- a. In a residential development, any pathway shall be restricted as part of the site's common open space when on a residential site.
- b. On a non-residential property, a permanent easement shall be reserved and maintenance assigned to a specific entity.
- c. The improvements, in either residential or non-residential developments, may also be offered for public dedication with approval by City Council.

D. Sidewalks.

- 1. Sidewalks shall be constructed along the frontage of all properties abutting arterial or local non-residential streets.
- 2. A connecting system of sidewalks shall be provided on both sides of each local residential street.
- 3. In a multi-family development, a connecting system of sidewalks shall be provided on both sides of each street and shall be provided running from each building.
- 4. Sidewalks shall be constructed adjacent to the street right-of-way line with a minimum separation between the sidewalk and the roadway of three (3) feet. **Required street trees shall be planted within three (3) feet of the house side of the sidewalk, not between the sidewalk and the roadway.**
- 5. A reduced width or different location may be approved by the Technical Review Committee unless it involves a major subdivision, which then requires approval by the Planning Commission.
- 6. Where the construction of the sidewalk is not possible within the right-of-way, a dedication of land from a property owner shall be required unless there are special circumstances. If there are special circumstances, an easement on private property could be approved by the Technical Review Committee.
- 7. Commercial and residential sidewalks shall be a minimum of five (5) feet in width. All sidewalks shall be a minimum of four (4) inches in thickness, except where crossing driveways in which case the minimum thickness shall be six (6) inches and will have a six (6) inch by six (6) inch #10 W. W. F. (or equivalent) reinforcement.
- 8. Sidewalks are required on both sides of all new street segments.
- 9. Sidewalks may be required in areas not specifically noted, where necessary, to continue a walk on an existing street, to link areas, or to provide access to pedestrian generators located in close proximity.
- 10. All sidewalks, including driveway sections where sidewalk crosses, and ramps shall comply with the following ADA standards:
 - a. All cross slopes shall be 2% maximum.

- b. All ramp slopes should be 8.6% maximum.
- c. All efforts should be made to locate all utility features (meters, valves, clean outs, etc.) and storm water features (basins, manholes, etc.) outside the sidewalks.
- d. Ramps shall be located at each intersection, pedestrian crossing, and any section of sidewalk longer than 1,000 linear feet.
- e. All ramps should extend from sidewalk to edge of pavement.

The TRC shall approve the design of all sidewalks, driveways, and ramps before construction begins to ensure ADA standards are met.

7.1.4 Design Standards by Street Type

Streets shall be designed according to a hierarchy of functions with through traffic separated from residential access streets. The street hierarchy shall be defined by road function and average daily trips. Each street shall be designed to meet or exceed the minimum standards for one of the street types defined below in Table 7.2.

Table 7.1: Design Standards by Street Type

Street Classification	Maximum Average Daily Trips	Minimum Right-of-Way (feet)	Minimum Pavement Width (feet)	Minimum Planting Strip (feet)	Minimum Sidewalk Width (measured from curb)	Bicycle Lanes
Major Arterial	50,000	90	44	10	6-10	4-5 feet marked
Minor Arterial	25,000	80	38	8	6-8	4 feet marked
Collector	6,000	70	32	8	6-8	4 feet marked
Minor Collector	4,000	60	28	6	6-8	4 feet marked (optional)
Local Street	2,000	50	24	4 3	5-6	None
Cul-de-sacs	250	50	24	4-3	5-5	None
Alleys (commercial)	50	20	12	0	0	None
Alleys (residential)	50	20	12	0	0	None

7.1.5 Estimate of Average Daily Trips (ADT)

If it is not possible to determine the maximum average daily trips (ADT) to be served by a street at the time of street design due to uncertainty about the type or intensity of use to be served, then the Applicant shall estimate the probable uses, intensities, and probable ADT. The Applicant may use average annual daily traffic estimates from South Carolina Department of Transportation (SCDOT). Information can be found on the SCDOT website. If the Technical Review Committee determines that such estimates are unrealistic, the Technical Review Committee shall state why and require more realistic estimates. **The TRC may require a full traffic study of any development that it determines may have an impact on the road network or functionality.**

7.1.9 Connectivity

It is the intention of the City of Conway that as residential infill development and new subdivision development occurs, that connectivity among all such tracts can be provided and thus avoid reliance on major arterials for access and connections among developments. Where, in the opinion of the Technical Review Committee, street connection to adjoining property is appropriate, proposed streets shall be extended to the boundary of the development for connection to existing streets for future connection. Cul-de-sacs shall not be used to avoid connection with an existing street, to avoid the extension of a thoroughfare or collector street, or to avoid connection to adjoining property.

Street stubs to adjoining areas shall be provided when required to give access to such areas or to provide for proper traffic circulation. Street stubs in excess of 250 feet shall be provided with a temporary cul-de-sac turnaround. This temporary cul-de-sac shall meet the requirements as specified in Section 7.1.11. The developer of the adjoining area shall pay the cost of restoring the street to its original design cross section and extending the street. **Sidewalks, as required in this section, shall be installed on both sides of the street stub.**

9.3.6 Street Tree Requirements

All properties which require the installation of sidewalks as set forth in Article 7 shall be required to install street trees in the public right-of-way at fifty (50') feet intervals. Such street trees shall meet the minimum requirements for canopy trees as set forth in Section 9.3.1, provided however in instances where such trees would interfere with underground utilities or overhead utility services, tree types of a more appropriate species may be permitted. The following factors shall be considered in determining the type of trees installed and the placement of trees:

- A. Proximity of overhead and underground utility services;
- B. Driveway and street intersection site triangles;
- C. Estimated mature height, root development, and canopy shape and size of trees;
- D. Street trees shall be planted within three (3) feet of the house side of the sidewalk and not between the sidewalk and roadway, as specified in 7.1.2. (D)(4), unless otherwise approved by the Planning Director or their designee.**
- E. As an alternative to the above requirements, a developer may submit a master streetscape plan for the development. The total number of trees in the master streetscape plan must be at least equivalent to placing trees in the public right of way at fifty feet (50')

intervals on both sides of the street. The master streetscape plan shall be reviewed and approved by the TRC, and must meet the minimum requirements stated in Section 9.4.

F. (this section proposed in the other text amendment being considered)

Street trees shall be maintained by the Owner and/or Homeowners Association in perpetuity. Trees that die due to natural causes, neglect, or utility/road maintenance repair shall be replanted by the Owner and/or Homeowners Association unless otherwise directed by the City of Conway. Maintenance responsibilities shall be clearly defined in all encroachment permits, covenants and restrictions.

10.5.3 Public Water

The public water system shall be extended throughout the development and to each lot located therein. All required water line extensions shall include appropriate valves, hydrant taps and service to the property line of each lot as required by City standards. **Water lines shall be extended across the property line of the development to the public right of way, allowing for future development to connect to the water lines and to allow for future improvements, such as looping the system.**

10.5.4 Public Sewer

The public sewer system shall be extended throughout the development and to each lot located therein. All required sewer line extensions shall include appropriate manholes, lift stations, pumps, clean outs, taps and service to the property line of each lot as required by City standards. **Sewer lines shall be extended across the property line of the development to the public right of way, allowing for future development to connect to the sewer system and to allow for future improvements.**